

GENERAL NOTES

THIS SET OF DRAWINGS IS THE SHELL PACKAGE COVERING FOUNDATION, FRAMING, AND EXTERIOR FINISHES. ALL INTERIOR FINISHES, MILLWORK, CASEWORK, EXPOSED MECHANICAL AND ELECTRICAL WORK, ETC. WILL BE INCLUDED IN THE FINISH PACKAGE TO FOLLOW. ALL FINISH ITEMS IN THIS PACKAGE ARE FOR INFORMATION ONLY AND MAY CHANGE.

ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, U.O.N. ALL EXTERIOR WALLS TO BE 5 1/2" WIDE, U.O.N. ALL INTERIOR WALLS ARE 1 1/2" WIDE, U.O.N.

GANG TOGETHER VENT STACKS AS MUCH AS POSSIBLE TO MINIMIZE ROOF PENETRATIONS.

PROVIDE ELECTRICAL HEAT TAPE FOR ALL GUTTERS, DOWNSPOUTS AND OTHER PIPES AS REQUIRED.

SEE ELEVATIONS FOR TOP OF WINDOW HEIGHTS. TOP OF WINDOW DOES NOT INCLUDE ROUGH OPENING.

DOOR SCHEDULES ON THIS SHELL PACKAGE SET INDICATE SIZE AND TYPE FOR FRAMING INFORMATION ONLY. REFER TO THE FINISH PACKAGE FOR FURTHER INFORMATION ON WOOD SPECIES, FINISHES, AND SPECIAL REQUIREMENTS.

COORDINATE ALL INTERIOR NON-STRUCTURAL DROPPED CEILING WITH THE FINISH PACKAGE.

COORDINATE ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.

CONTRACTOR TO COORDINATE ALL DESIGN/BUILD MECHANICAL AND ELECTRICAL EQUIPMENT, DEVICES AND WORK. SUBMIT DRAWINGS FOR REVIEW BY ARCHITECT AND PEER CONSULTANT. REFER TO PROJECT MANUAL DIVISION 15 AND 16.

RESIDENTIAL GENERAL NOTES, IF APPLICABLE

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES

DRAINAGE WATER SHALL BE DIRECTED TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. I.R.C. R401.3

EXCAVATIONS, FILL, CUTS, AND GRADING SHALL COMPLY WITH I.R.C. CHAPTER 4

FOUNDATION NOTES

FOOTINGS SHALL BE A MINIMUM OF 36 INCHES BELOW FINISH GRADE. I.R.C. R403.1.4

TOP OF FOUNDATION WALLS SHALL BE A MINIMUM 6 INCHES ABOVE ADJACENT FINISH GRADE. I.R.C. R404.1.6

UNDERFLOOR VENTILATION: MINIMUM 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDERFLOOR AREA, OR 1:1,500 IF 6 MIL VISQUEEN IS PROVIDED ON THE GROUND. VENTS TO BE ARRANGED TO PROVIDE CROSS-VENTILATION ON AT LEAST TWO OPPOSING SIDES. I.R.C. R408

ARCHITECTURAL NOTES

TEMPERED GLASS SHALL BE PROVIDED IN FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLAZING PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. I.R.C. R308

PROVIDE NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD ON THE CEILING. I.R.C. R309.2

PROVIDE 24 INCH ON-CENTER BLOCKING FOR VERTICAL SIDING. I.R.C. TABLE R703.4 FOOTNOTE K

ELECTRICAL NOTES

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

ALL RECEPTACLES SERVING KITCHEN, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTILES SHALL BE GFCI PROTECTED. I.R.C. E3802

LIGHTS IN CLOSETS MUST COMPLY WITH THE CLEARANCE DIMENSIONS OR I.R.C. E3903.1.1

ELECTRICAL PANELS MUST COMPLY WITH I.R.C. E3305 FOR 30"x36" WORKING SPACE AND 6'-6" HEADROOM.

PROVIDE SMOKE DETECTORS CONFORMING TO I.R.C. SECTION R317. ALL LEVELS, ALL BEDROOMS, ACCESS TO ALL BEDROOMS AND IN ALL ROOMS WITH SLOPED CEILINGS NEXT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. I.R.C. R317

PROVIDE AT LEAST TWO OUTSIDE GRADE LEVEL RECEPTACLES-ONE IN THE FRONT YARD AND ONE IN THE REAR YARD. I.R.C. E3801.7

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH A FUEL BURNING APPLIANCE. I.R.C. R313.2 AS AMENDED BY STATE

ALL EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED TO ELIMINATE ANY DIRECT LIGHT AND VISUAL IMPACT.

EXTERIOR LIGHTING TO COMPLY WITH COUNTY ORDINANCES FOR EXTERIOR LIGHTING.

ROOF TOP EQUIPMENT INCLUDING SATELLITE DISHES, ANTENNAS, AND OTHER ELECTRICAL EQUIPMENT MUST BE CONCEALED FROM PEDESTRIAN AND OVERLOOKING DEVELOPMENT VIEWS.

ALL OUTDOOR EQUIPMENT FOR SPA SHALL BE SCREENED FROM VIEW WITH DESIGNED ELEMENTS OR LANDSCAPING.

PLUMBING NOTES (see also MEP notes)

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

PROVIDE LOCATION OF GAS AND ELECTRICAL METERS IN AN AREA THAT IS PROTECTED FROM SNOW AND ICE DAMAGE. I.A.C. 15-2-3-4

PROVIDE TANK TYPE WATER CLOSETS WITH A FLOW RATE OF NOT MORE THAN 1.6 GALLONS PER FLUSH. I.R.C. R2903.2

PROVIDE SHOWERHEADS WITH A FLOW RATE OF NOT MORE THAN 2.5 GPM. I.R.C. P2903.2

PROVIDE NON-FREEZE TYPE BACKFLOW PREVENTER HOSE BIBS. I.R.C. P2903.2

ALL PLUMBING VENTS THROUGH THE ROOF TO BE MINIMUM 3" PIPE, 10' FROM EAVES AND BLEND WITH ROOFING COLOR(S). I.R.C. P3103.2

PROVIDE A FLOOR DRAIN BY THE WATER HEATER. PROVIDE A METAL PAN UNDER THE WATER HEATER OR STEAM SHOWER EQUIPMENT IF LOCATED ON A WOOD FLOOR. I.R.C. P2801

IN SEISMIC DESIGN CATEGORIES C1, D1, AND D2, WATER HEATER SHALL BE ANCHORED OR STRAPPED IN THE UPPER THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE THIRD OF THE OPERATING WEIGHT.

IF BUILDING WATER SUPPLY LINE HS PRV VALUE INSTALLED WITHOUT THERMAL BY-PASS, PLUMBING CONTRACTOR SHALL INSTALL DIAPHRAGM EXPANSION TANK EQUAL TO THERM-X-CONTROL MODEL ST-25V.

MECHANICAL NOTES

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

PROVIDE A COMFORT HEATING SYSTEM CAPABLE OF MAINTAINING 68 F AT A POINT 36 INCHES ABOVE THE FLOOR IN ALL ROOMS. GENERALLY EQUIPMENT CANNOT BE INSTALLED IN SLEEPING ROOMS OR BATHROOMS. I.R.C. G2406

PROVIDE COMBUSTION AIR FOR ALL FUEL-BURNING APPLIANCES AT A MINIMUM RATE OF 1 SQ. INCH PER 3000 BTU/HOUR INPUT. THE ONE OPENING MUST BE IN THE TOP 12 INCHES OF THE ROOM. PROVIDE MINIMUM 1 INCH CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE. PROVIDE MINIMUM 6 INCH CLEARANCE IN FRONT OF THE APPLIANCE. I.R.C. 304-6.2

FUEL-BURNING APPLIANCES, INCLUDING FIREPLACES, ARE NOT PERMITTED TO BE INSTALLED IN SLEEPING ROOMS, BATHROOMS, OR TOILET ROOMS UNLESS THE APPLIANCES ARE DIRECT VENT APPLIANCES. SEE I.R.C. SECTION G2406 AND I.A.C. 303.3 FOR MORE INFORMATION AND THE LIST OF EXCEPTIONS.

FUEL-FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A BEDROOM OR BATHROOM SHALL BE INSTALLED IN A SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE. I.R.C. M2005.2

APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES, ROOMS OR SPACES THAT ARE NOT PART OF THE LIVING SPACE OF A DWELLING UNIT AND THAT COMMUNICATE WITH A PRIVATE GARAGE THROUGH OPENINGS SHALL BE CONSIDERED TO BE PART OF THE GARAGE. I.R.C. M1307.3

ENERGY CODE:

BUILDING ENVELOPE MUST COMPLY WITH CURRENT ENERGY CODE.

LIGHTING AND MECHANICAL SYSTEMS MUST COMPLY WITH CURRENT ENERGY CODE.

50% OF LAMPS IN PERMANENT FIXTURES MUST BE HIGH EFFICACY LAMPS.

UNVENTED CRAWLSPACE CONTINUOUS VAPOR RETARDER SHALL BE INSTALLED OVER EXPOSED EARTH WITH JOINTS OVERLAPPED BY 4" AND SEALED, EXTENDING AT LEAST 4" UP AND ATTACHED TO WALL.

SUPPLY DUCTS IN ATTICS ARE INSULATED TO GREATER OR EQUAL TO R8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE ARE AT LEAST R6. SEAL JOINTS AND SEAMS OF ALL DUCTS.

CIRCULATING SERVICE HOT WATER PIPES ARE INSULATED TO R2.

AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.

WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.

PRESCRIPTIVE ENERGY CODE

CLIMATE ZONE 6- REFER TO IECC 2018, TABLE R402.1.1

FENESTRATION (U-FACTOR): U-0.32

CEILING (R-VALUE): R-49. ALTERNATE R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. IECC 2018, R402.2.1

CEILINGS WITHOUT ATTIC SPACE (R-VALUE): R-30, UNLESS SHOWN OTHERWISE. THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION IS LIMITED TO 300 SQ.FT. OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. IECC 2018, R402.2.2

WALLS (R-VALUE): R-20 + R-5 (OR R-13 + R-10, WHERE R-13 IS CAVITY INSULATION & R-10 IS CONTINUOUS INSULATION)

SLAB (R-VALUE & DEPTH) R-10 @ 4'-0"

THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF SECTION R402.1.1 THROUGH R402.1.4 (IECC 2018)

WOOD RESIDENCE

NEW CONSTRUCTION

1906 A AGATE STREET
MCCALL, ID 83638

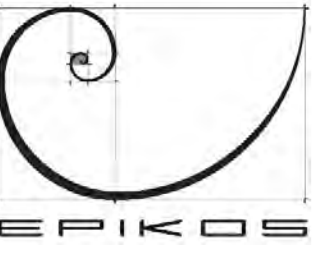


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STRUCTURAL ENGINEERING DRAWINGS:



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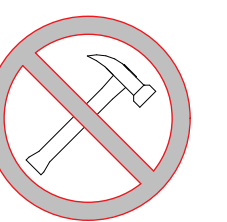
PROJECT TEAM

CLIENT:	ARCHITECT:	CONTRACTOR	STRUCTURAL ENGINEER:
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PROJECT DATA

CODE INFORMATION:
DESIGN CODE: 2018 IRC
OCCUPANCY: -
CONSTRUCTION TYPE: -
LOCATION:
1906 A AGATE STREET
MCCALL, ID 83638

Stamp:



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Revisions:

(PLOT DATE: 3/26/2024)

Date: 3/26/2024

Project No: 2401

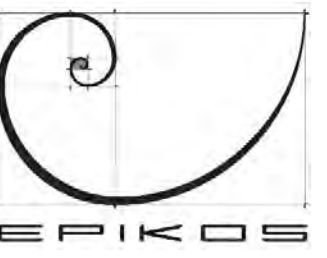
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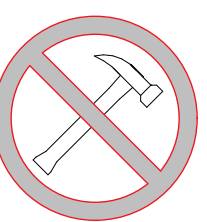
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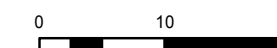
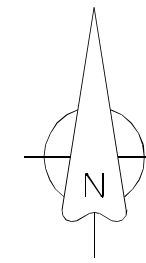
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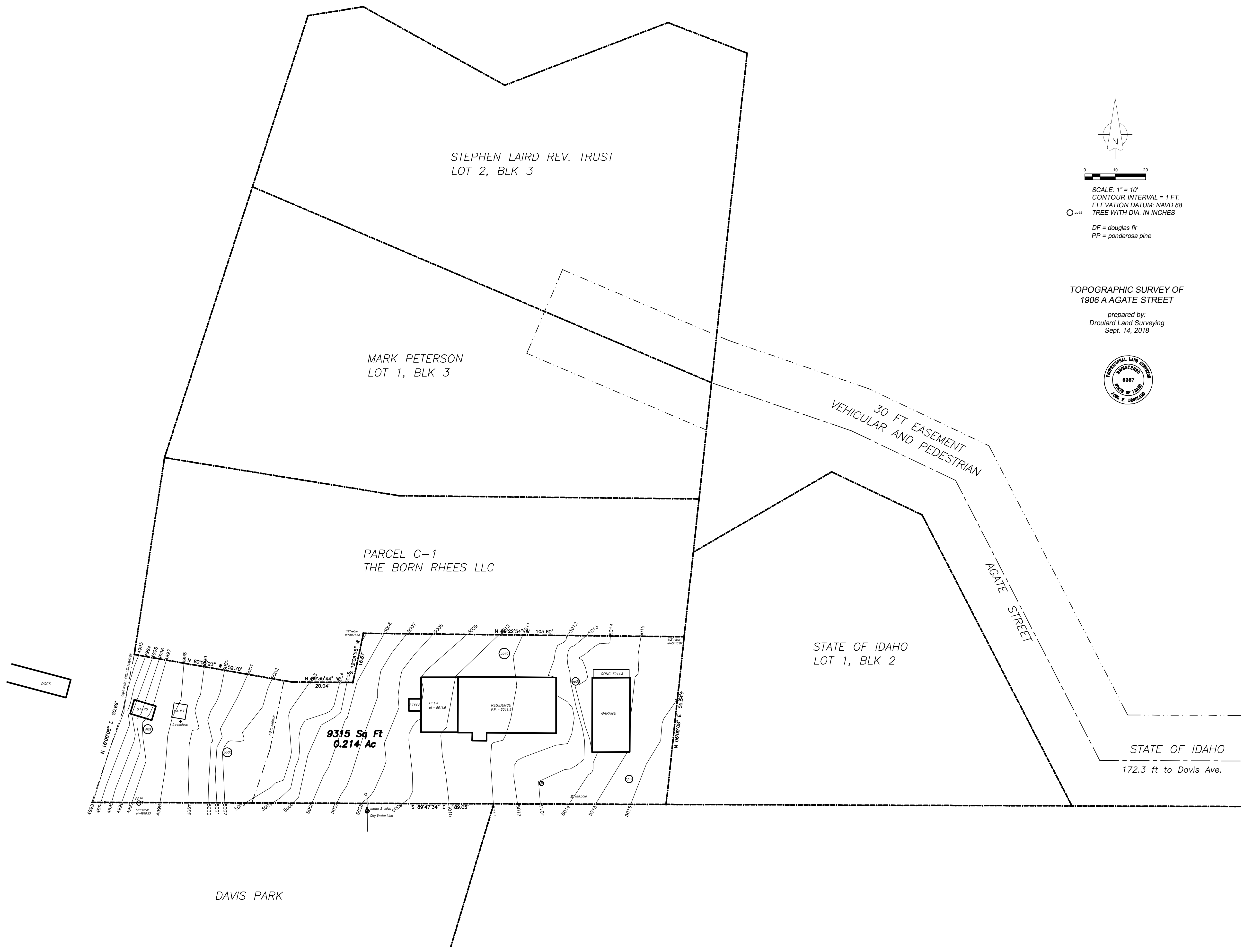
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SCALE: 1" = 10'
CONTOUR INTERVAL = 1 FT.
ELEVATION DATUM: NAVD 88
TREE WITH DIA. IN INCHES
DF = douglas fir
PP = ponderosa pine

TOPOGRAPHIC SURVEY OF
1906 A AGATE STREET
prepared by:
Droulard Land Surveying
Sept. 14, 2018

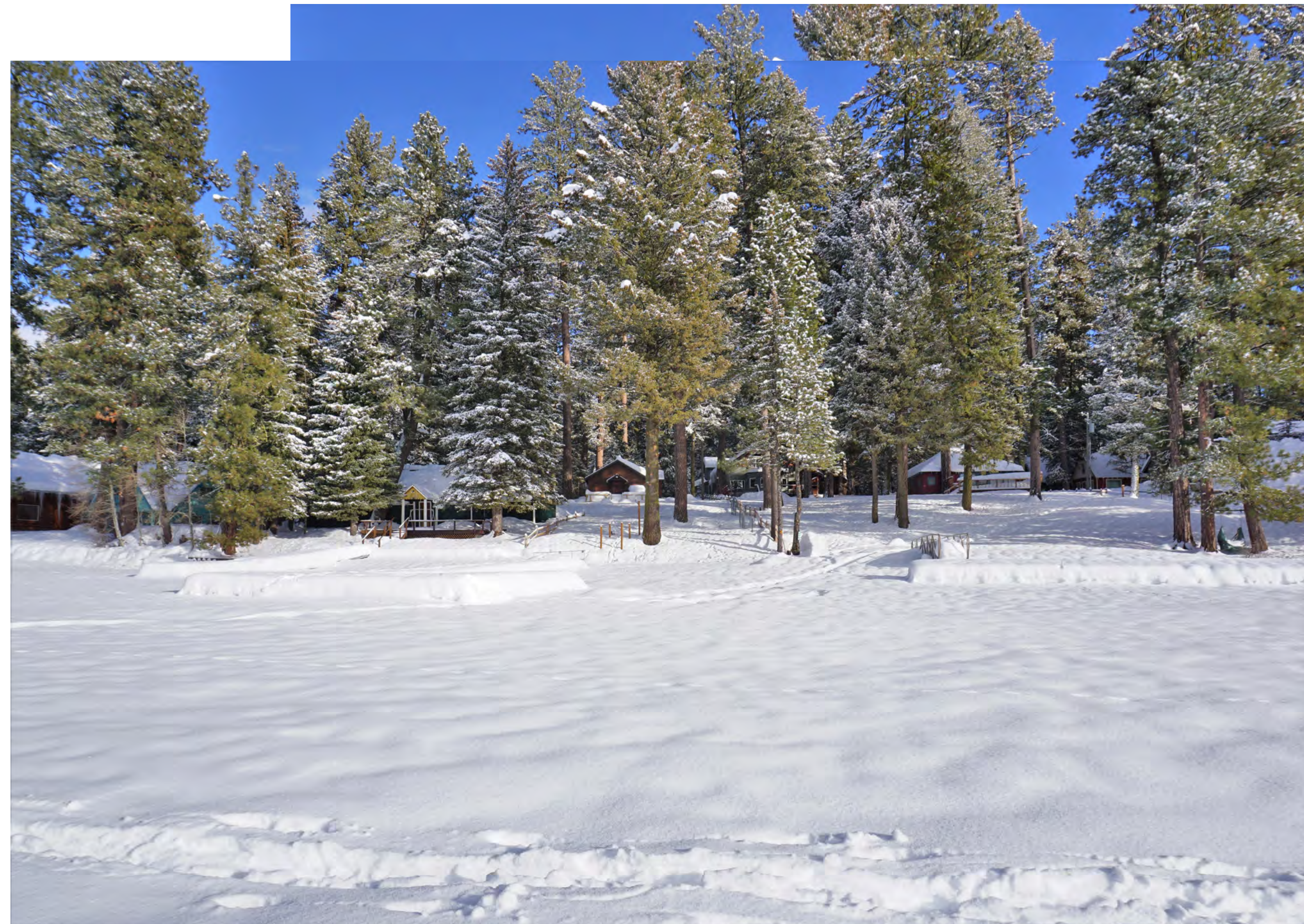




3 SITE FROM NORTH



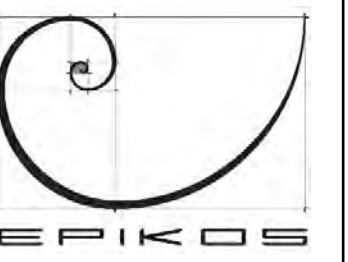
1 SITE FROM EAST



4 SITE FROM WEST (LAKE)



2 SITE FROM SOUTHEAST



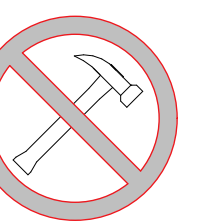
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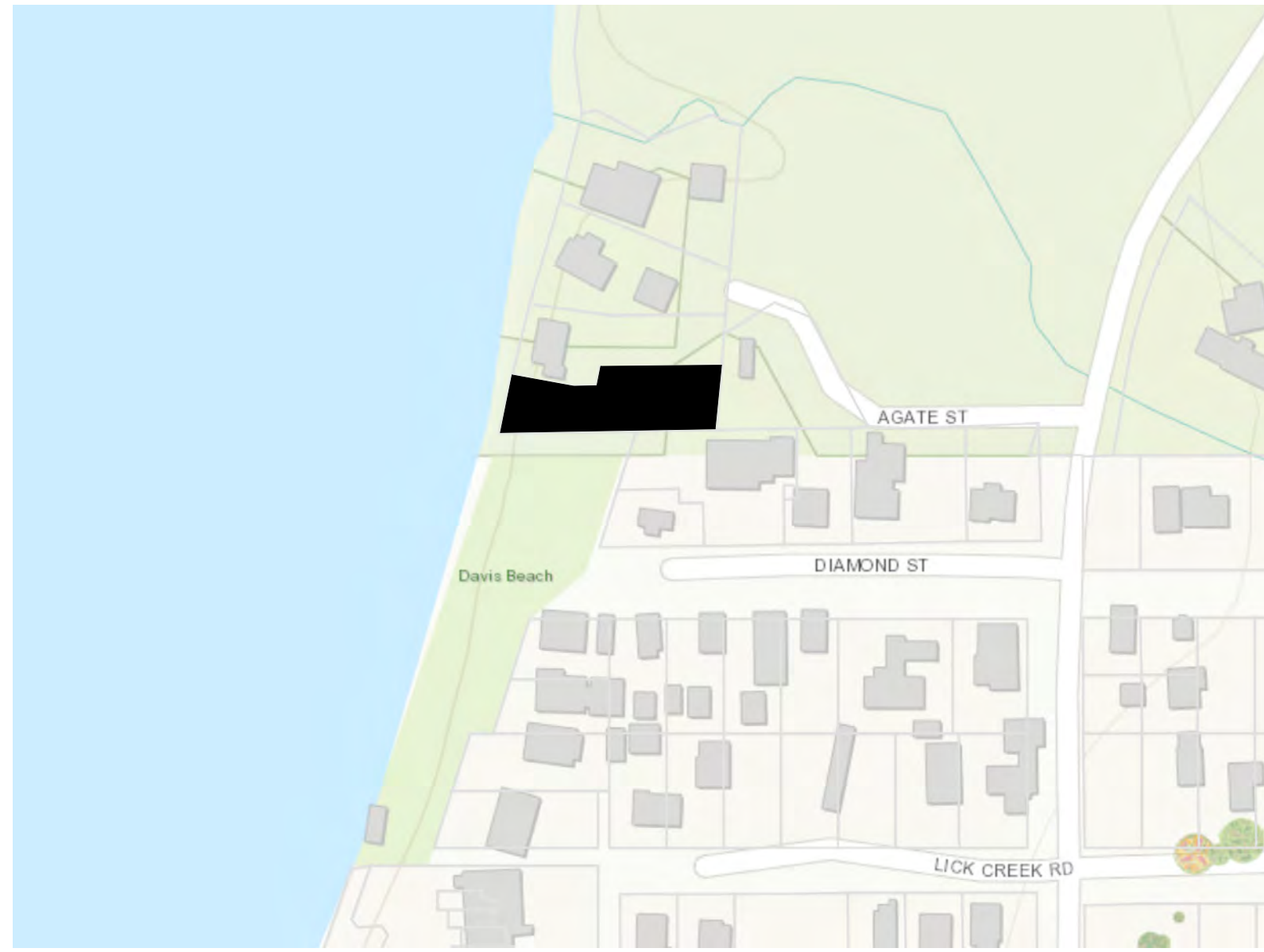
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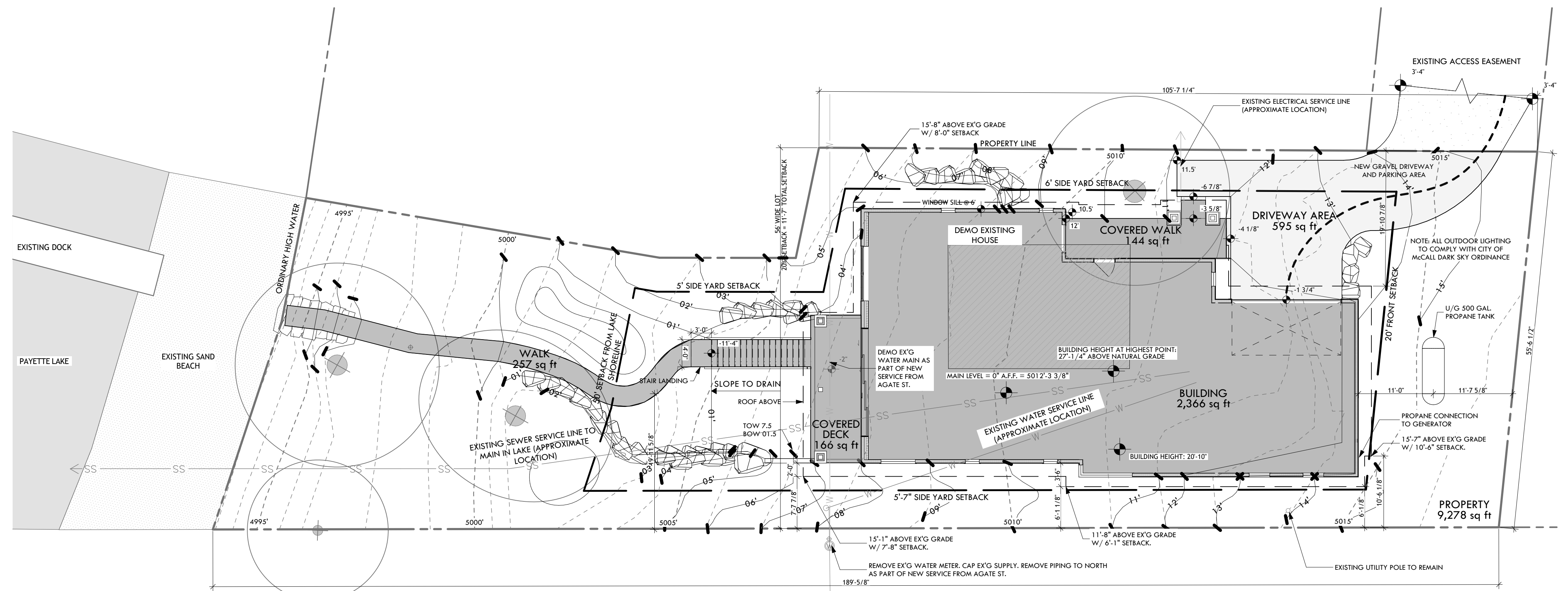
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3 VICINITY MAP
NOT TO SCALE

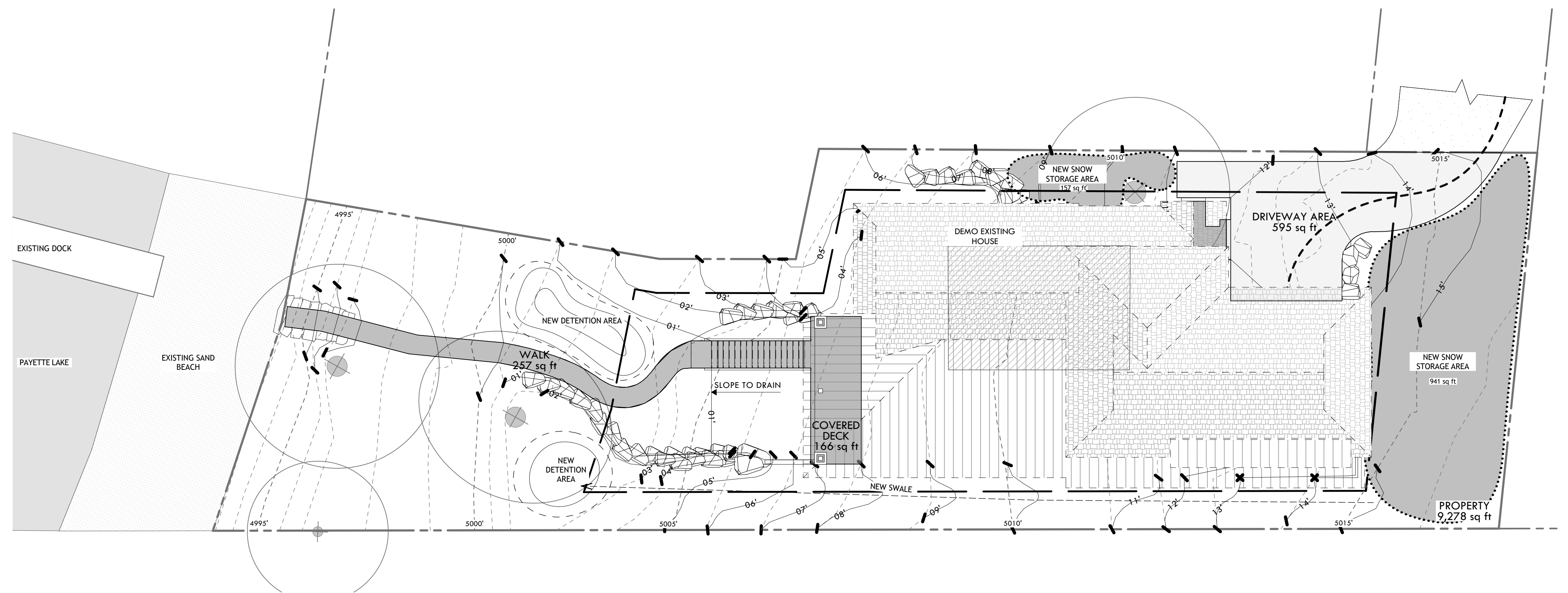


LOT COVERAGE:

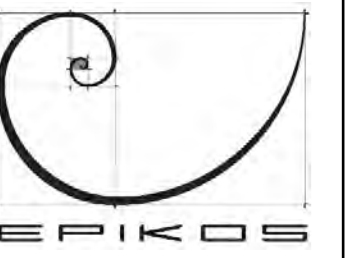
BUILDING / COVERED DECK / PATIO	2676 SQ. FT. @ 100% =	2676
UNCOVERED DECK / PATIO / WALKS	257 SQ. FT. @ 50% =	129
DRIVEWAY	595 SQ. FT. @ 35% =	208
TOTAL		3,013 SF

ALLOWED: 9,278 X 32.9% = 3,052 SF
ACTUAL: 3,013/9,278 = 32.47%

1 SITE PLAN W/ UTILITIES & GRADING
SCALE: 1" = 10'



2 STORMWATER DRAINAGE PLAN
SCALE: 1" = 10'



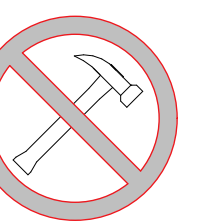
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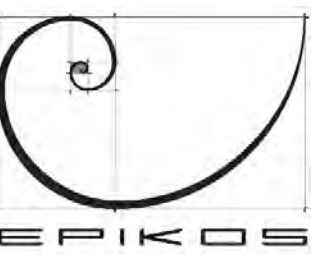
1 3D VIEW FROM NORTHEAST



3 3D VIEW FROM BEACH



2 3D VIEW FROM BEACH

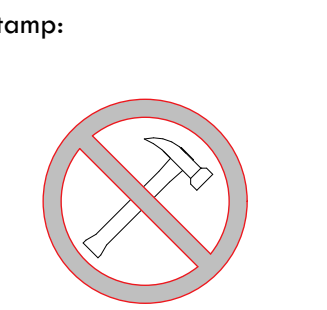


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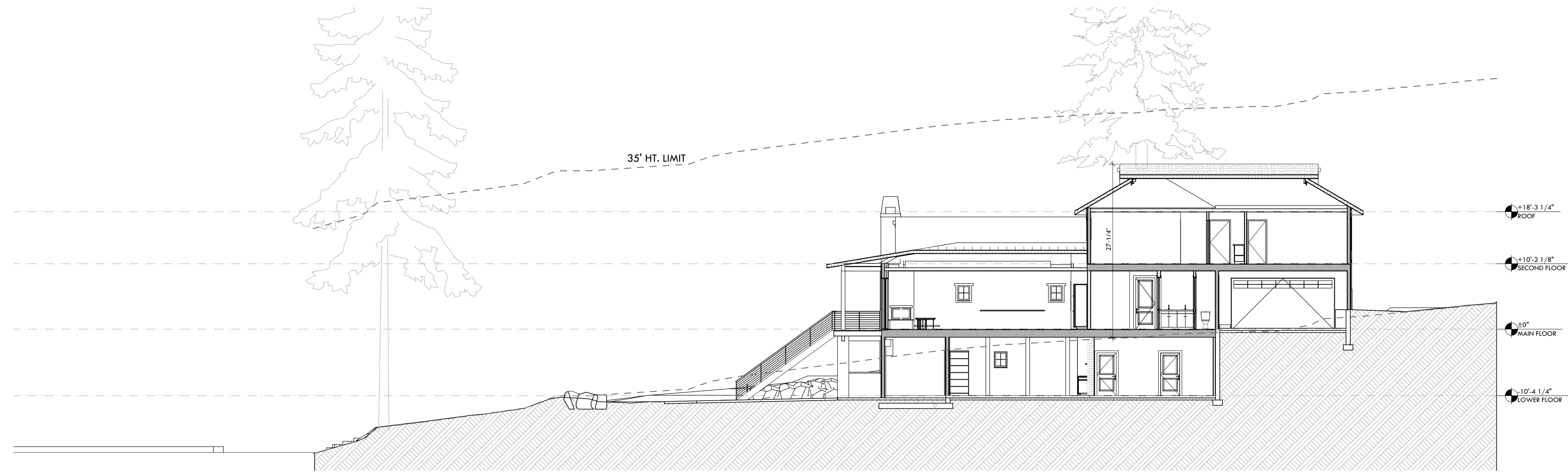
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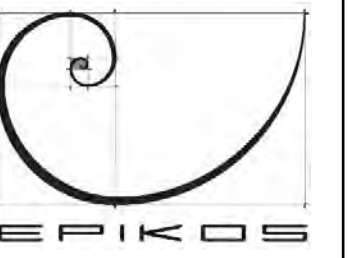
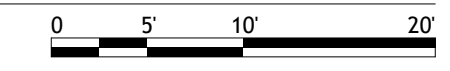
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1 SITE SECTION
SCALE: 1" = 10'



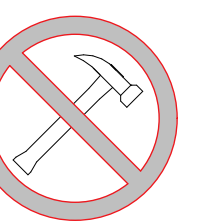
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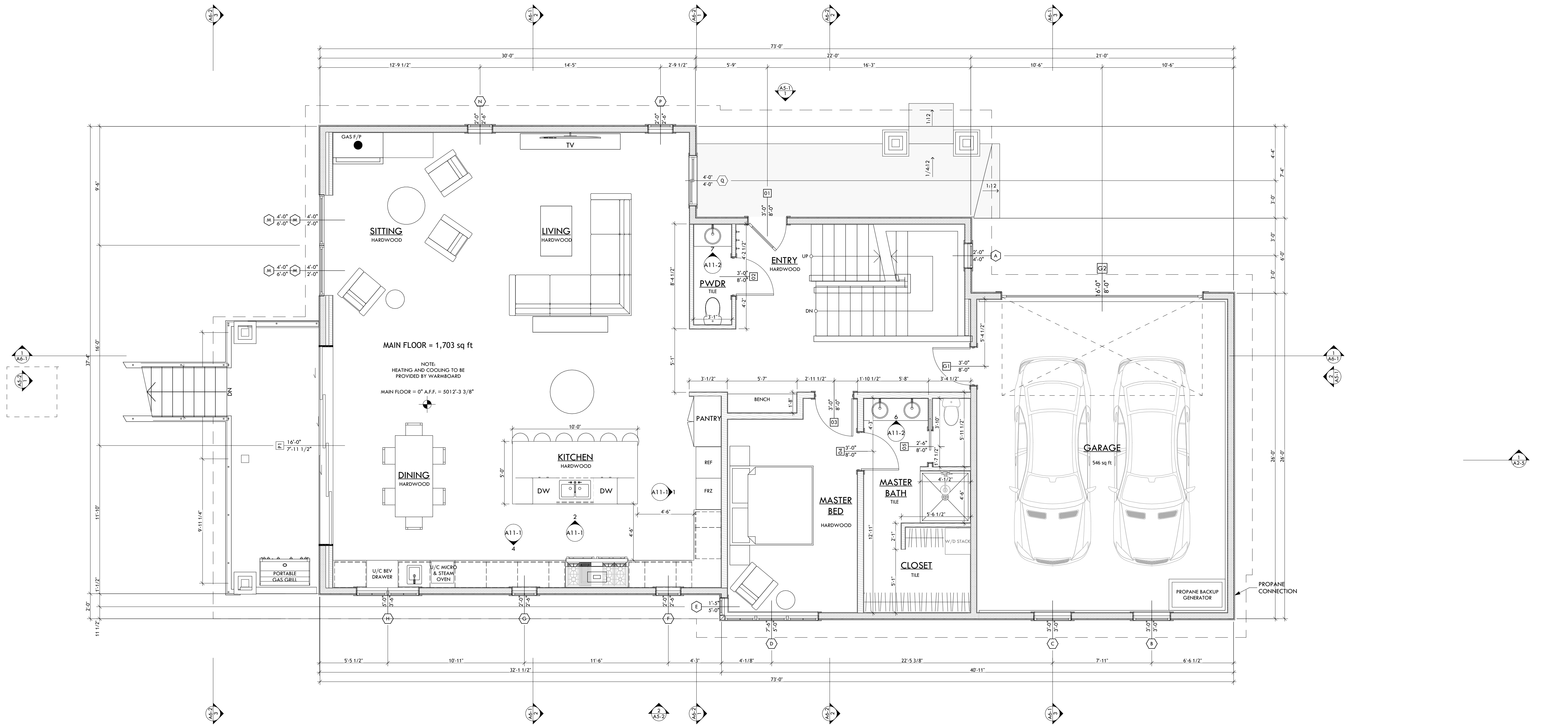
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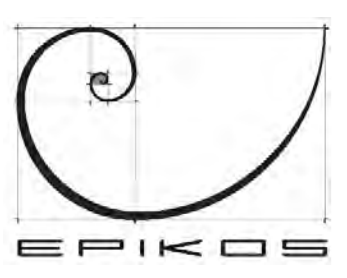
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1 MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8'



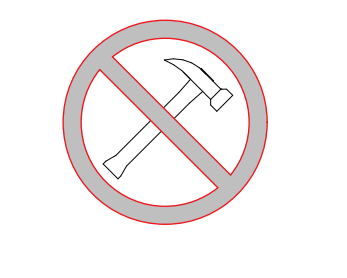
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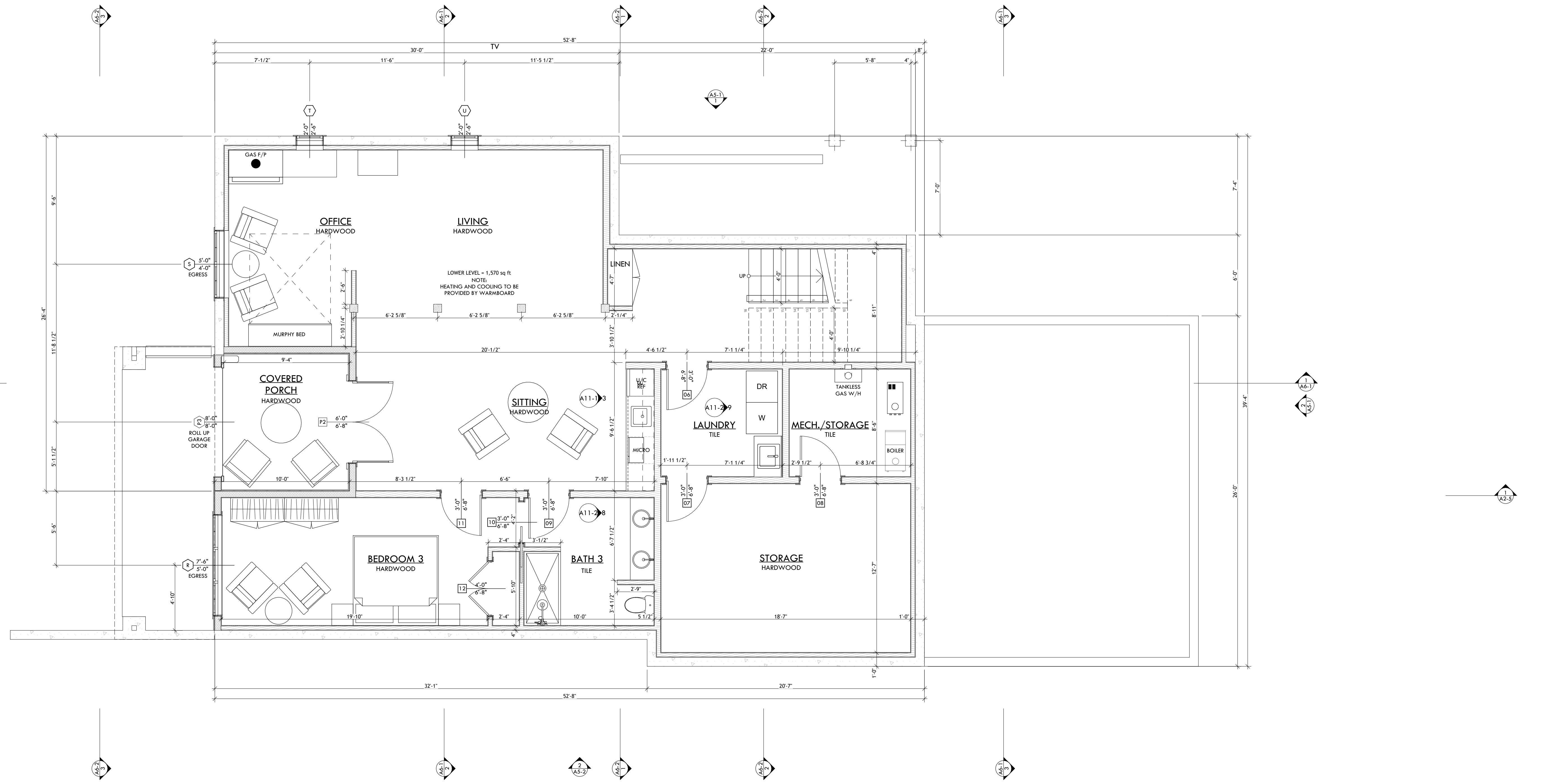
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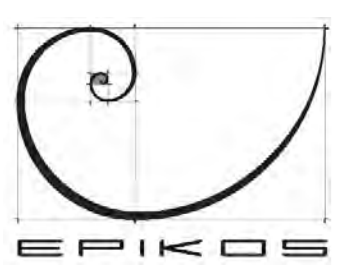
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1 LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 0 2 4 8



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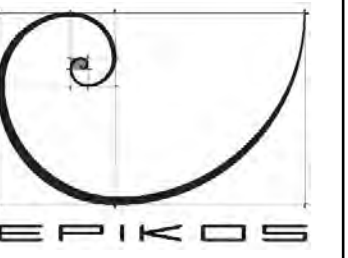
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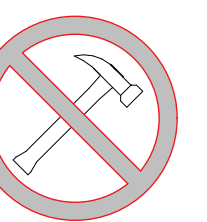
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Revisions:

(PLOT DATE: 3/26/2024)

Date: 3/26/2024

Project No: 2401

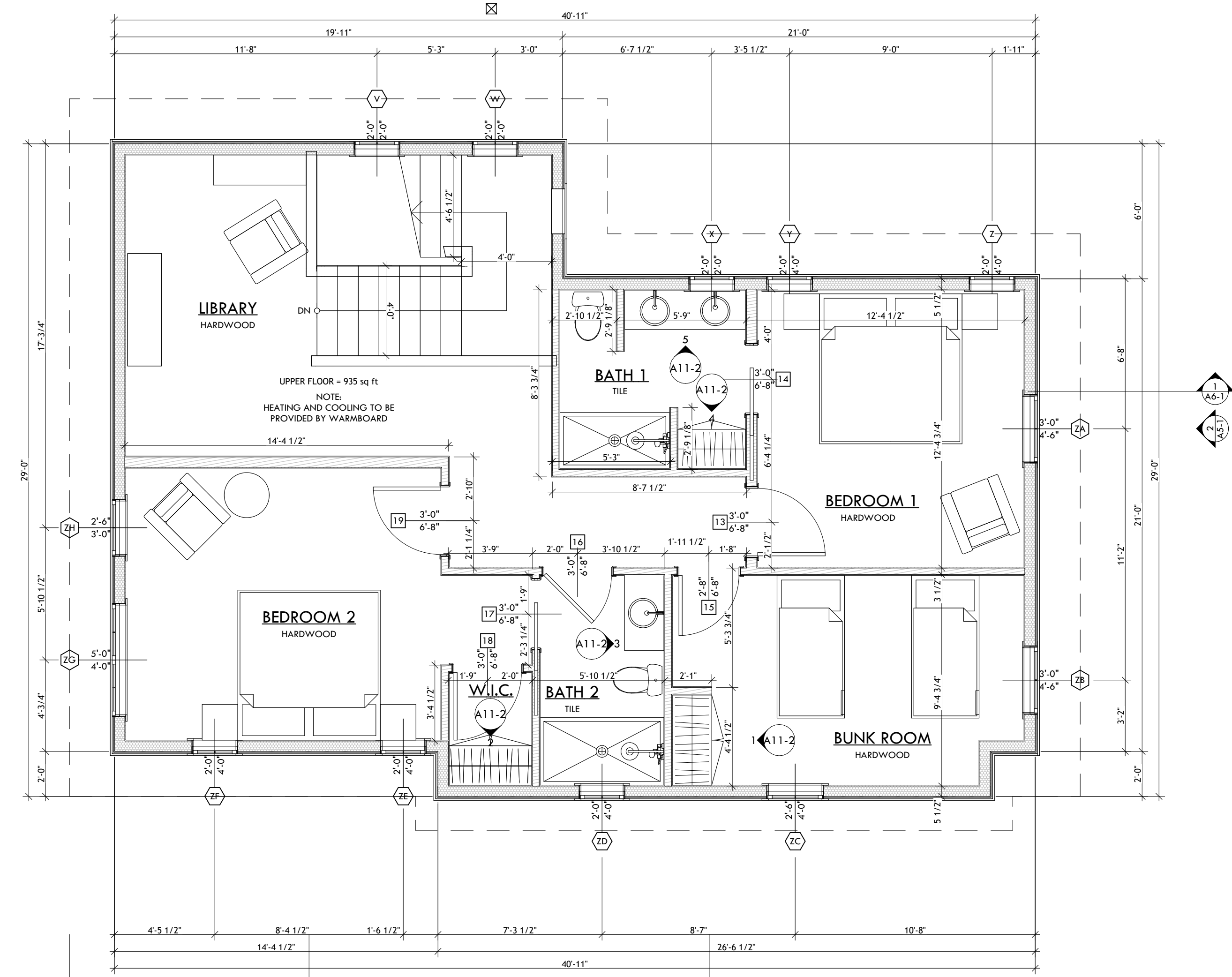
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Checked by: WR

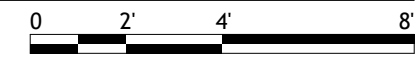
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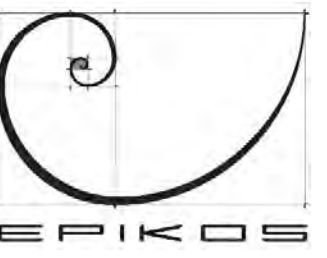
A3-3

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1 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"





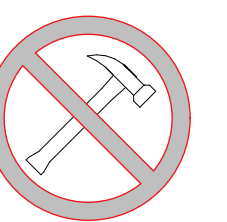
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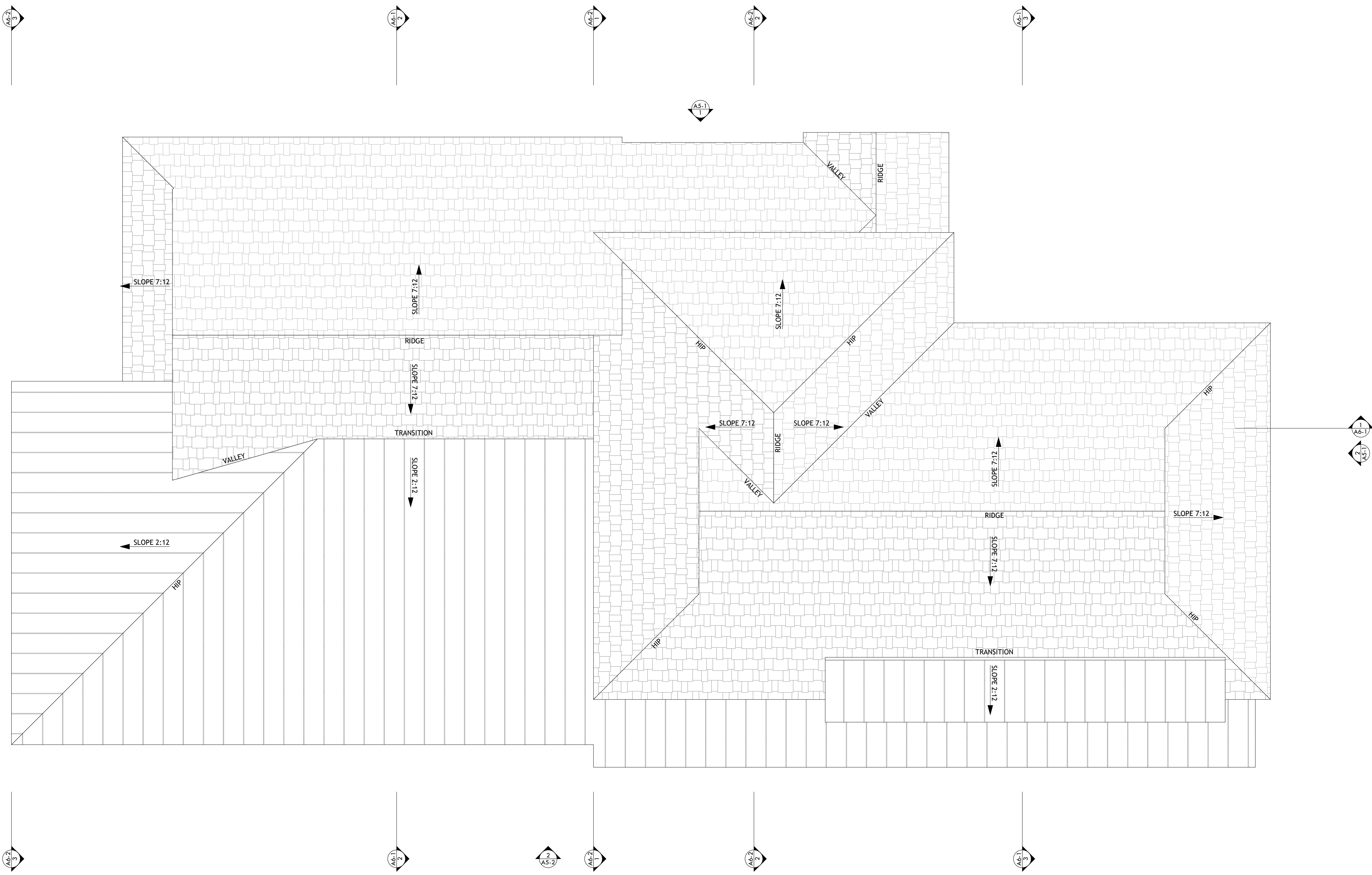
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Checked by: WR

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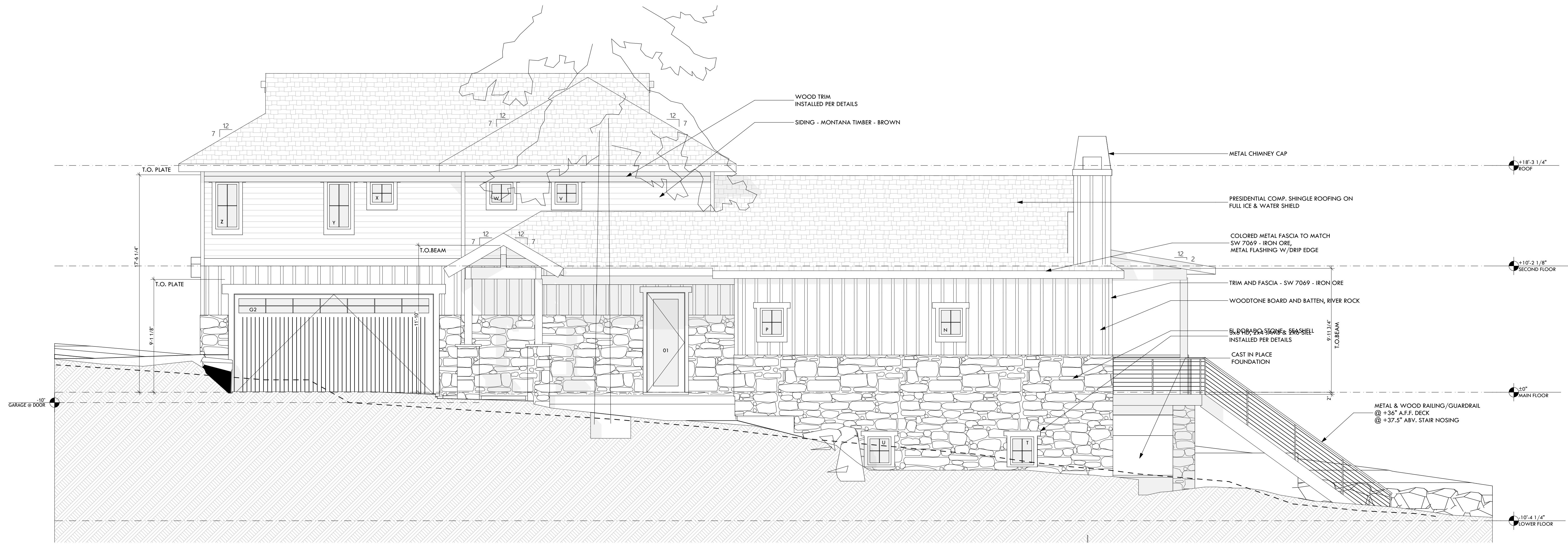
A4-1

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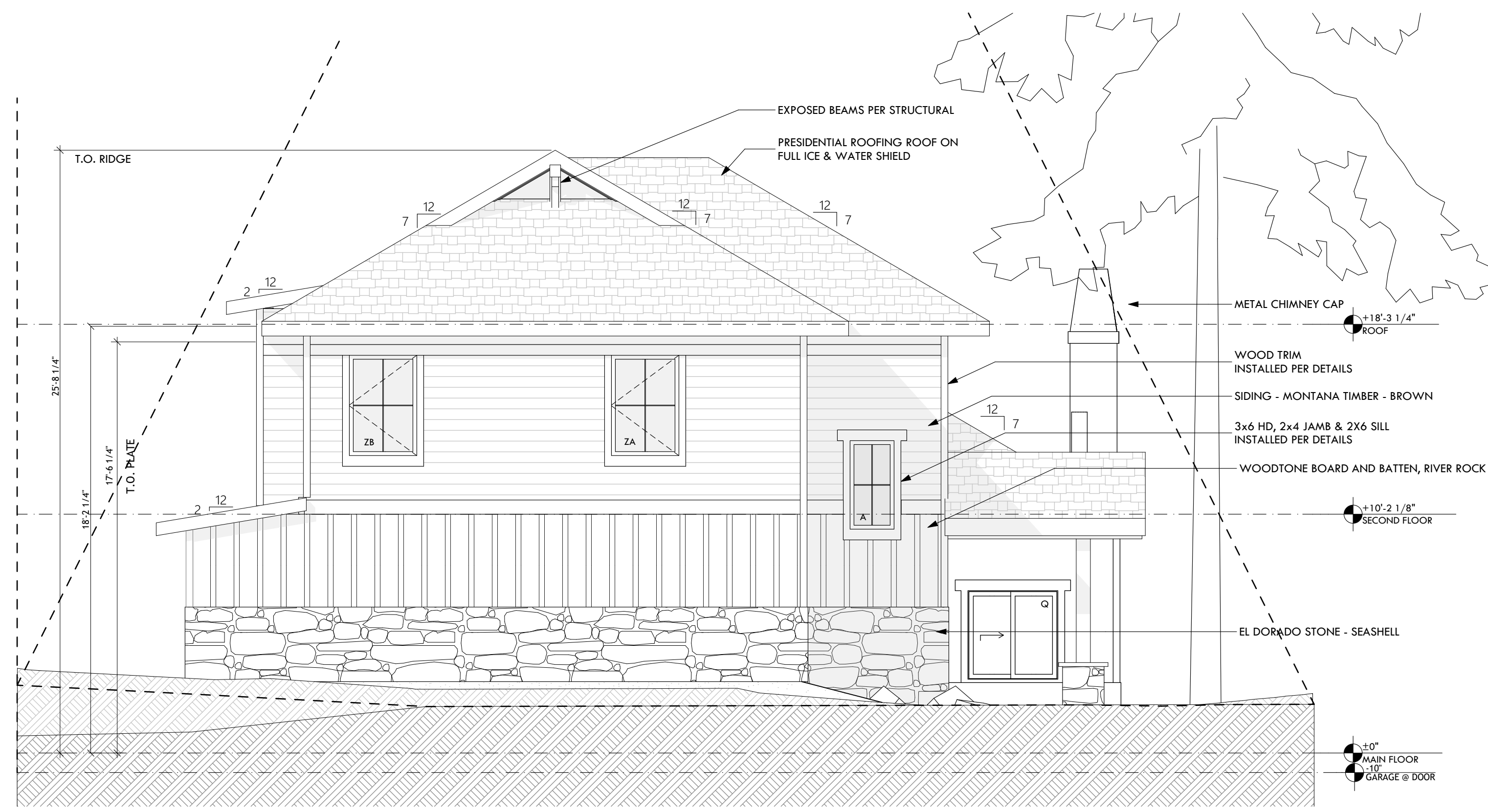


1 ROOF PLAN
SCALE: 1/4" = 1'-0"

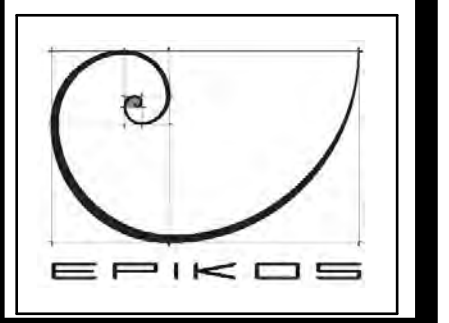
- SHEET NOTES:
- INTERIOR FINISHED FLOOR ELEVATIONS (T.O.F.F.):
MAIN LEVEL: 0'-0" (#,###)
 - REFER TO COVER SHEET FOR GENERAL NOTES.
 - REFER TO REFLECTED CEILING PLANS (A10.x) FOR CEILING HEIGHTS.
 - FULL HEIGHT OF ALL CHIMNEYS TO BE ONE-HOUR FIRE RESISTANT CONSTRUCTION. SILLS OF WOOD BURNING FIREPLACE CHIMNEY OPENINGS TO BE 2'-0" MIN. ABOVE ALL ROOFS WITHIN 10'-0" RADIUS.
 - ALL ROOF TO BE R4, U.O.N. PROVIDE FLASHING AT ALL CHANGES IN ROOF PLANES.
 - GANG TOGETHER VENT STACKS AS MUCH AS POSSIBLE TO MINIMIZE ROOF PENETRATIONS.
 - PROVIDE ELECTRICAL HEAT TAPE FOR ALL GUTTERS, DOWNSPOUTS, AND PIPES.
 - ROOF OVERHANG DIMENSIONS ARE FROM OUTSIDE FACE OF STUD WALL TO END OF RAFTER OR OUTRIGGER. THEY INCLUDE THICKNESS OF WALL FINISHES OR VENEER. SEE WALL SECTIONS FOR CLARITY.
 - INDICATES T.O. PLATE ELEVATION (SPRING POINT).
 - INDICATES T.O. RIDGE ELEVATION (ROOF STRUCTURE, T.O. PLY).
 - PROVIDE ROOF AND ATTIC VENTILATION PER CODE.
 - ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE WALL, U.O.N.
 - LOCATIONS, LENGTHS, AND SPACING OF ALL SNOW GUARDS AND CLIPS TO BE VERIFIED IN FIELD BEFORE INSTALLATION.
 - ALL ROOF VALLEYS TO HAVE COLORED METAL INSTALLED AT TRANSITION.



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

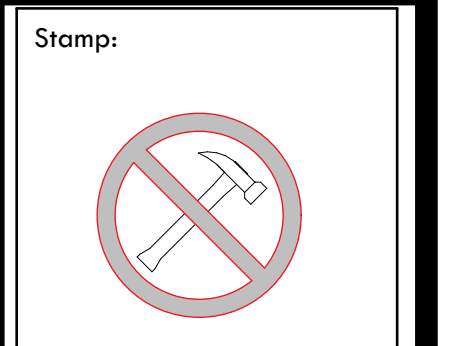


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Date: 3/26/2024

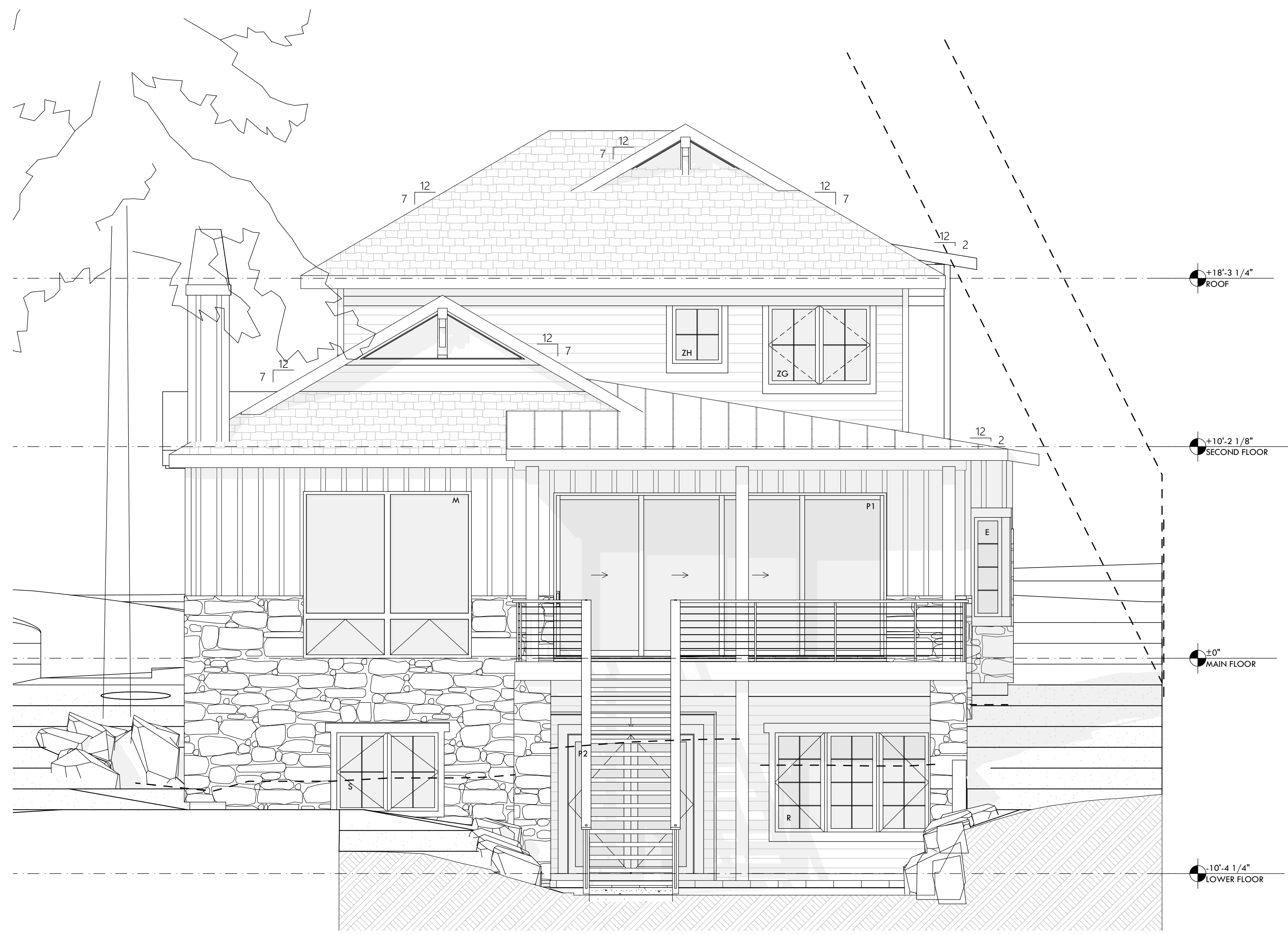
Project No: 2401

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Checked by: WR

Sheet:
A5-1

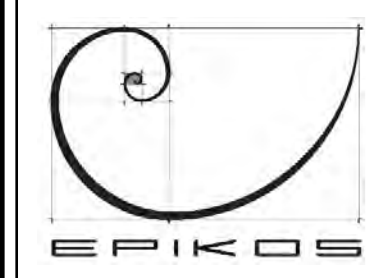
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1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



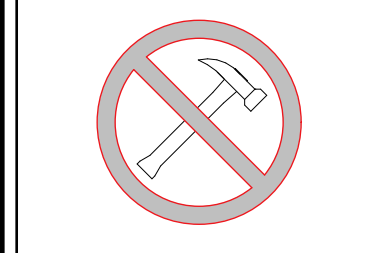
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Project No: 2401

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Sheet:

A5-2

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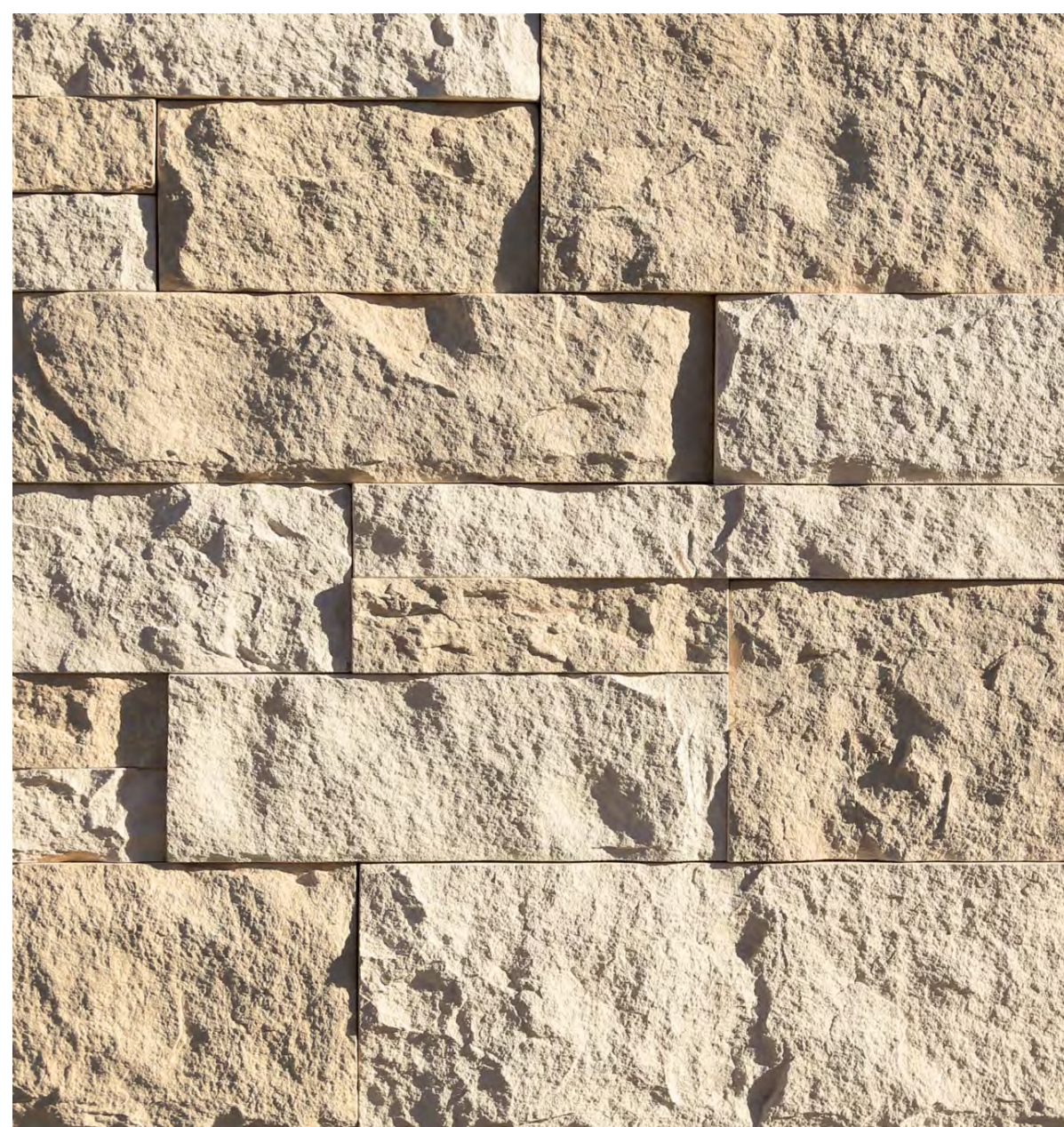
1 CERTAINTEED PRESIDENTIAL TL - SHADOW GRAY



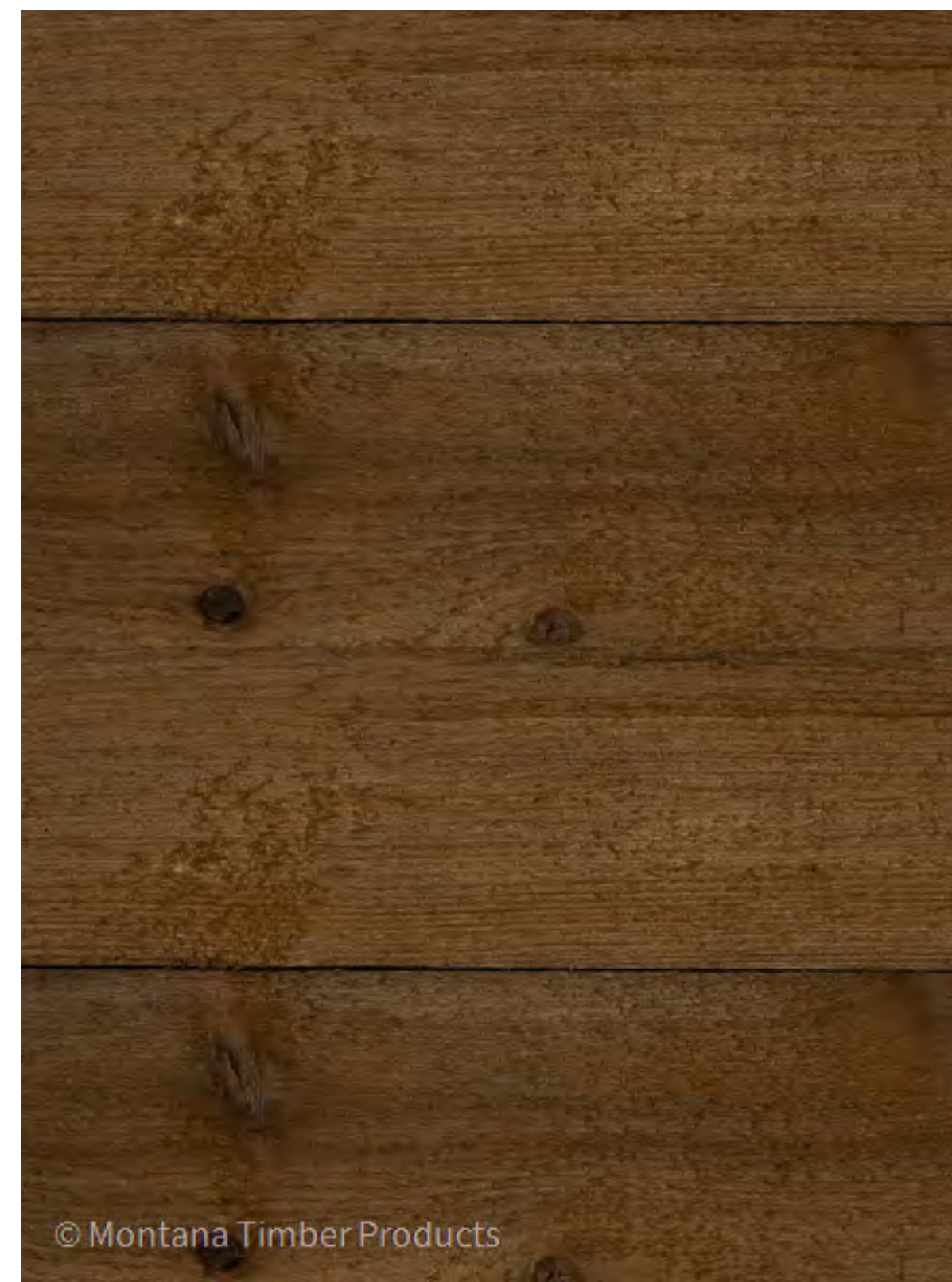
2 BRIDGER STEEL STANDING SEAM



3 BRIDGER STEEL SLATE GRAY



5 EL DORADO STONE VENEER - SEASHELL



6 MONTANA TIMBER - AQUAFIR BROWN



7 WOODTONE BOARD AND BATTEN - RIVER ROCK



8 TRIM AND FASCIA - SW 7069 IRON ORE

thegreatoutdoors
a MINKA-LAVERY®

Item #: 8101-A138-L	UPC Code: 747396087207
Product Family Name: Kirkham™	Finish: Aspen Bronze™
Category: Wall Mount	Category Type: Wall Bracket
Compliance: 3057374	Patents:
Notes:	

Image File Name:
8101-A138-L-
1377129148.jpg

MEASUREMENTS			
Width:	Length:	Height:	Extension:
8.5		6	10.5
Height Adjustable:	Min Overall Height:	Max Overall Height:	Slope:
No			No
Wire Length:	Chain Length:	Safety Cable Included:	Net Weight:
7		No	1.43
Canopy Width:	Canopy Height:	Canopy Length:	
5.13		5.13	
Backplate Width:	Backplate Height:	Center to Top:	Center to Bottom:
		3.25	2.75

LAMPING			
No. of Bulbs:	Light Type:		
1	L-Act10-Module		
Max Bulb Wattage:	Socket:		
10	Led		
Dimmable:	Ballast:	Rated Life Hours:	Photocell Included:
No		30000	Yes
LED Included:	Color Temp.:	CRI:	Initial Lumens:
Yes	2700	79	450.000
			Delivered Lumens:
			288.200

SHIPPING			
Carton Width:	Carton Height:	Carton Length:	
11.000	8.000	13.000	
Carton Weight:	Carton Cubic Feet:	Small Package Shippable:	
2.640	0.662	Yes	
Master Pack Width:	Master Pack Height:	Master Pack Length:	
13.500	22.750	25.250	
Master Pack Weight:	Master Cubic Feet:	Multi-Pack:	Master Pack:
17.248	1	6	

SHADE / GLASS			
Description:	Material:		
Part No.:	Quantity:		
Width:	Height:	Length:	

LED: Yes

Dark Sky: Yes

Wet Location: Yes

Title 24: Yes

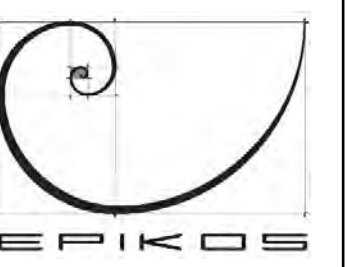
ETL Intertek: Yes

For additional information, please contact Customer Care: 1-800-251-7077

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Rev: 12/21/2019

4 MINKA LAVERY DARK SKY 8101-a138-l



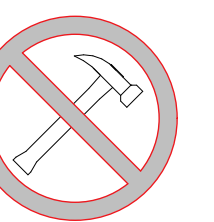
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Checked by: WR

Sheet:

A5-3

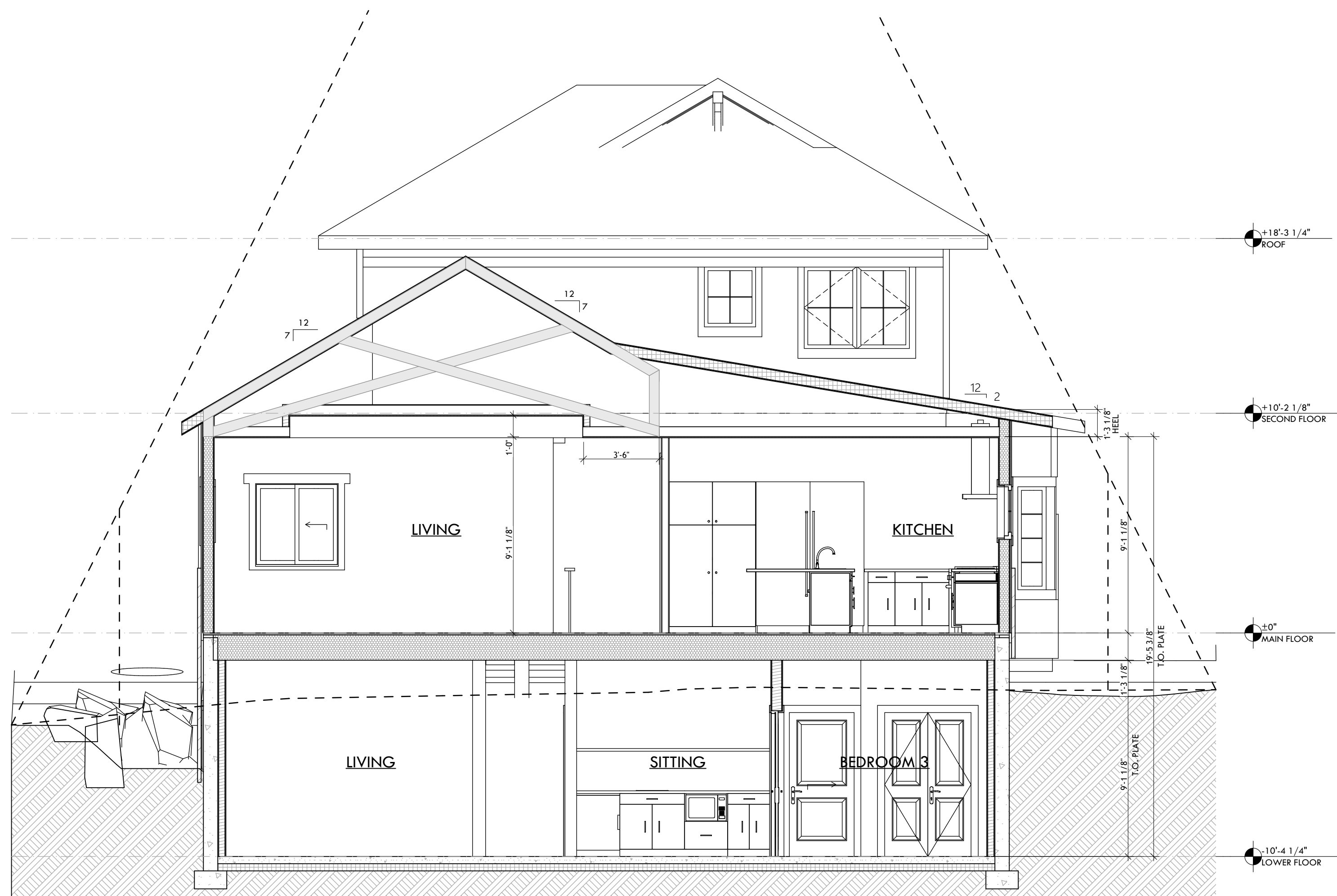
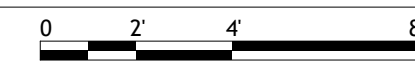
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SHEET NOTES:

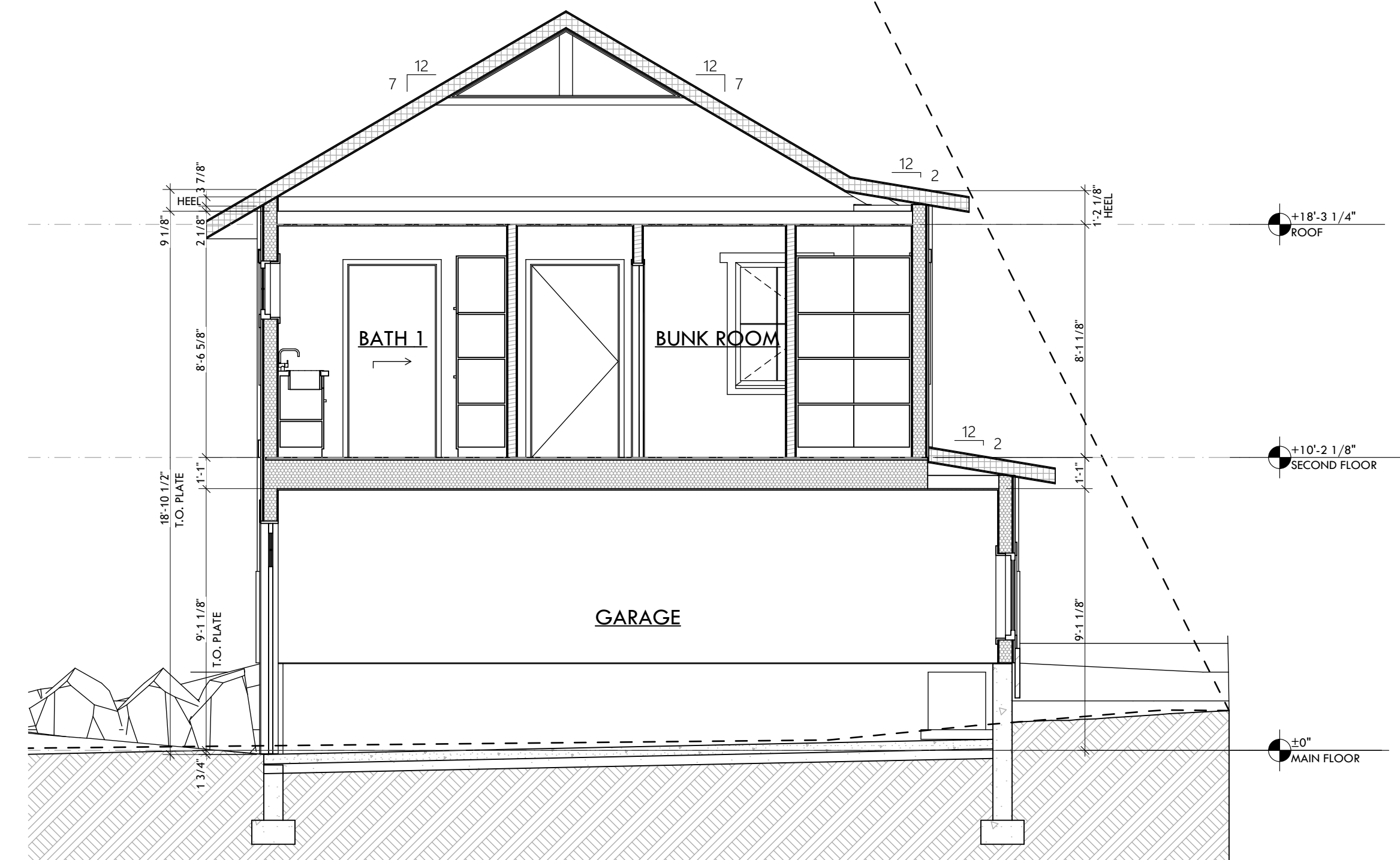
1. INTERIOR FINISHED FLOOR ELEVATIONS (T.O.F.F.):
MAIN LEVEL: 0'-0" (#,###)
2. REFER TO COVER SHEET FOR GENERAL NOTES.
3. SEE LANDSCAPE DRAWINGS FOR DRAINAGE, GRADING, BOULDER RETAINING WALLS AND TREE LOCATIONS.
4. SEE LANDSCAPE AND STRUCTURAL DRAWINGS FOR ALL CONCRETE RETAINING WALLS.
5. SEE STRUCTURAL DRAWINGS FOR FRAMING, FOOTINGS AND MORE INFORMATION.
6. SEE SHEET AB.1 FOR DOOR & WINDOW SCHEDULES.
7. BUILDING SECTIONS ARE SCHEMATIC. REFER TO WALL SECTIONS A7.X FOR MORE INFORMATION AND DETAILS.
8. ALL INTERIOR FINISHED AND CEILING HEIGHTS ARE SHOWN FOR INFORMATION ONLY. SEE REFLECTED CEILING PLANS AT 10.X FOR CEILING HEIGHTS.
9. SEE ROOF PLAN A4.1 FOR SPRING POINTS (T.O. PLATE), ROOF SLOPES, SNOW GUARD AND CLIP LOCATIONS.
10. ALL HEADER HEIGHTS ARE TO T.O. WINDOW OR DOOR UNIT, MEASURED TO FINISHED FLOOR, NOT INCLUDING ROUGH OPENING.
11. STONE DETAILS AND PATTERNS ARE SHOWN FOR LOCATION ONLY. FIELD VERIFY WITH ARCHITECT AND CLIENT ACTUAL STYLE AND PATTERN.
12. PROVIDE TWO FOUNDATION DRAINS WHERE RETAINING WALL IS OVER 8'-0" HIGH: ONE AT 4'-0" BELOW GRADE AND ONE AT BOTTOM OF FOOTING. TYPICAL FOR ALL RETAINING WALLS.
13. PROVIDE CRAWL SPACE AND FOUNDATION VENTILATION PER CODE.
14. PROVIDE ATTIC ACCESS PER CODE. CLIENT TO APPROVE EXACT LOCATIONS.
15. PROVIDE ROOF AND ATTIC VENTILATION PER CODE.
16. MUNTIN PATTERNS OF WINDOWS AND SLIDING DOORS ARE SHOWN FOR DESIGN INTENT. ALIGN HORIZONTAL MUNTINS WITHIN A ROOM.
17. ARCHITECT BEARS NO RESPONSIBILITY FOR DESIGN AND PERFORMANCE OF ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS.
18. DIMENSIONS ARE TO FACE OF STUD OR CONCRETE WALL, U.O.N.
19. CHIMNEY FRAMING IS CONTINUOUS THROUGH THE ROOF FRAMING.



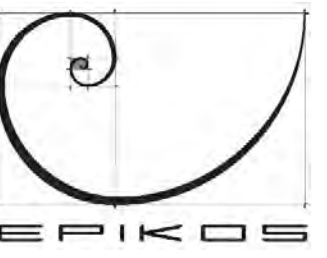
1 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"



2 GREAT ROOM SECTION
SCALE: 1/4" = 1'-0"



3 GARAGE SECTION
SCALE: 1/4" = 1'-0"



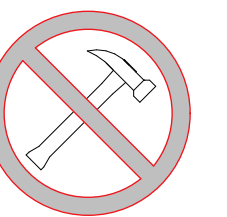
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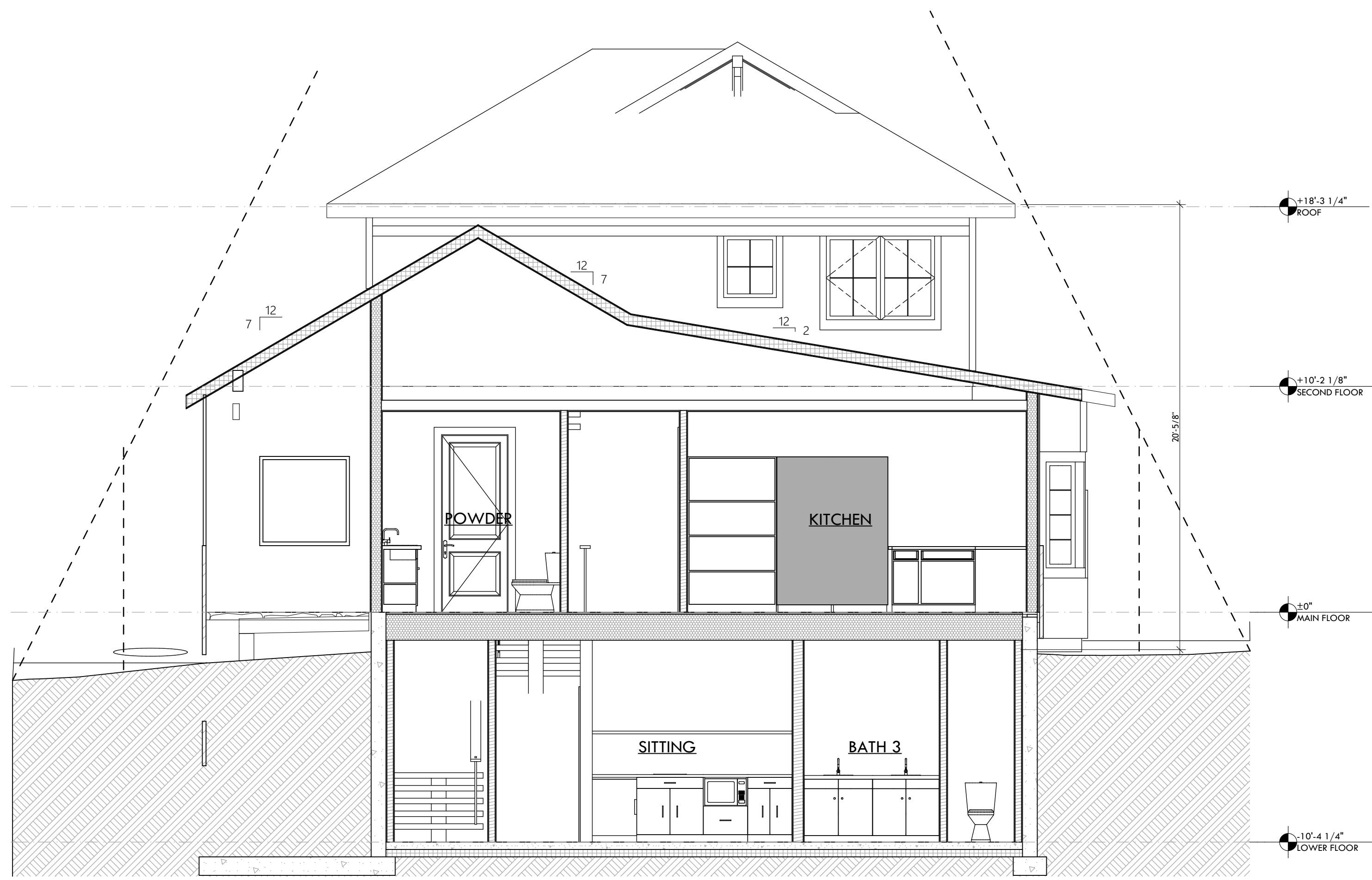
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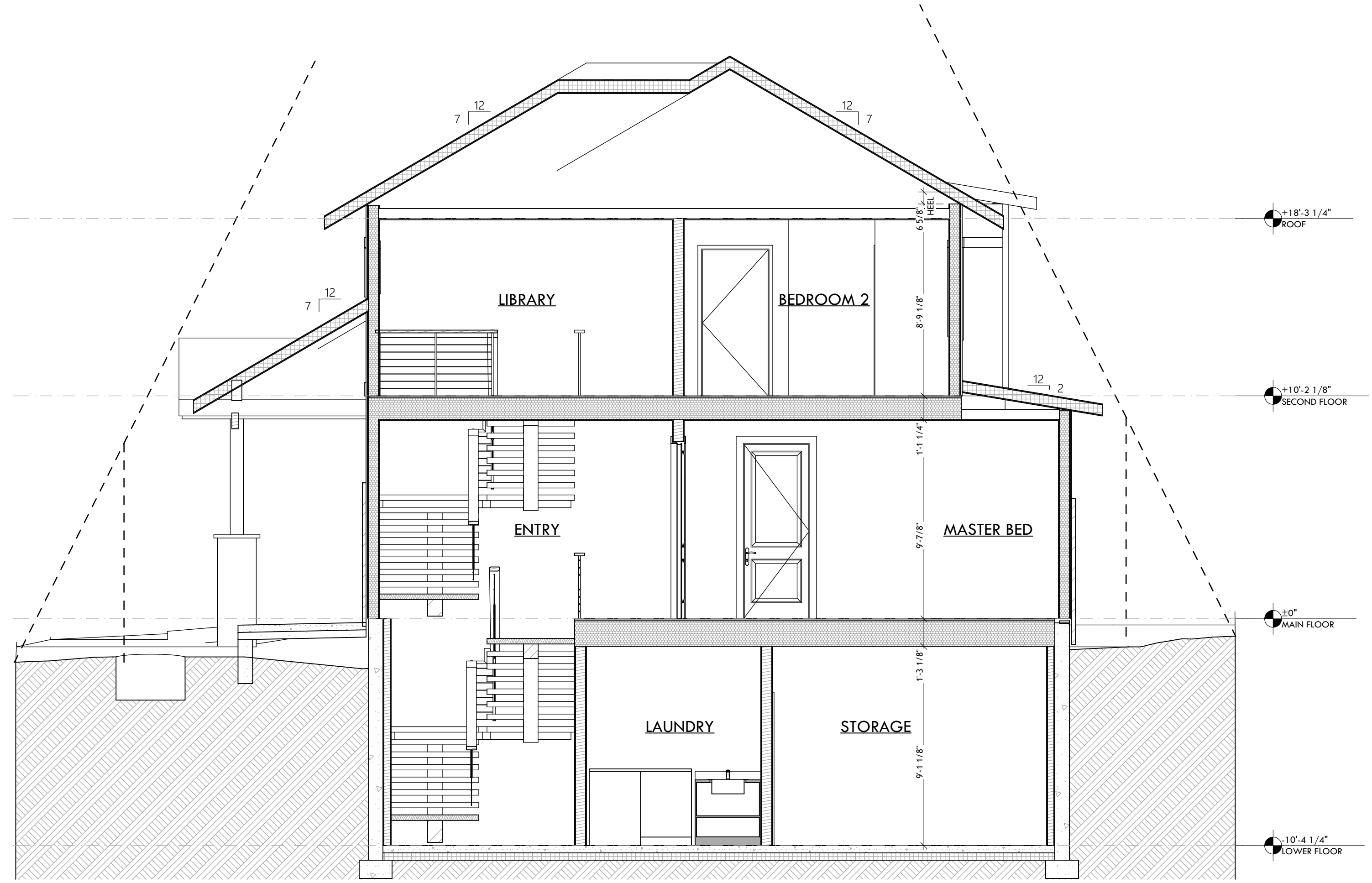
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A6-1

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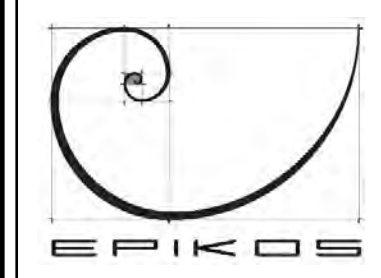
1 BUILDING SETBACK SECTION
SCALE: 1/4" = 1'-0"



2 MBR SECTION
SCALE: 1/4" = 1'-0"



3 PORCH SETBACK SECTION
SCALE: 1/4" = 1'-0"



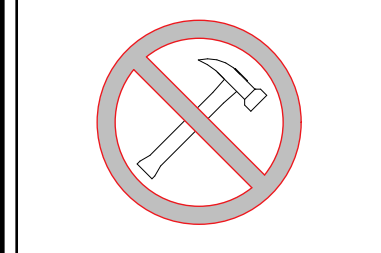
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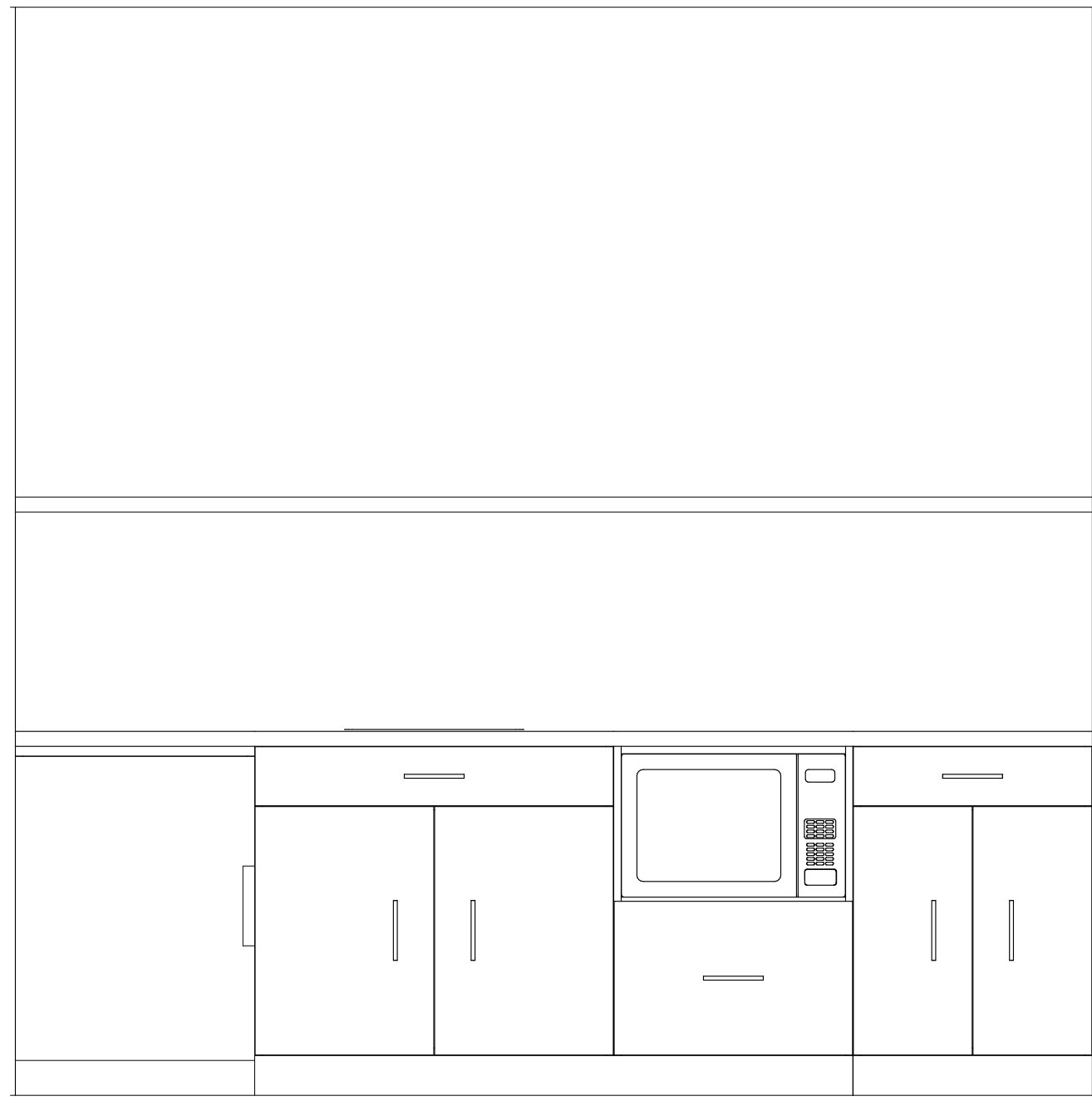
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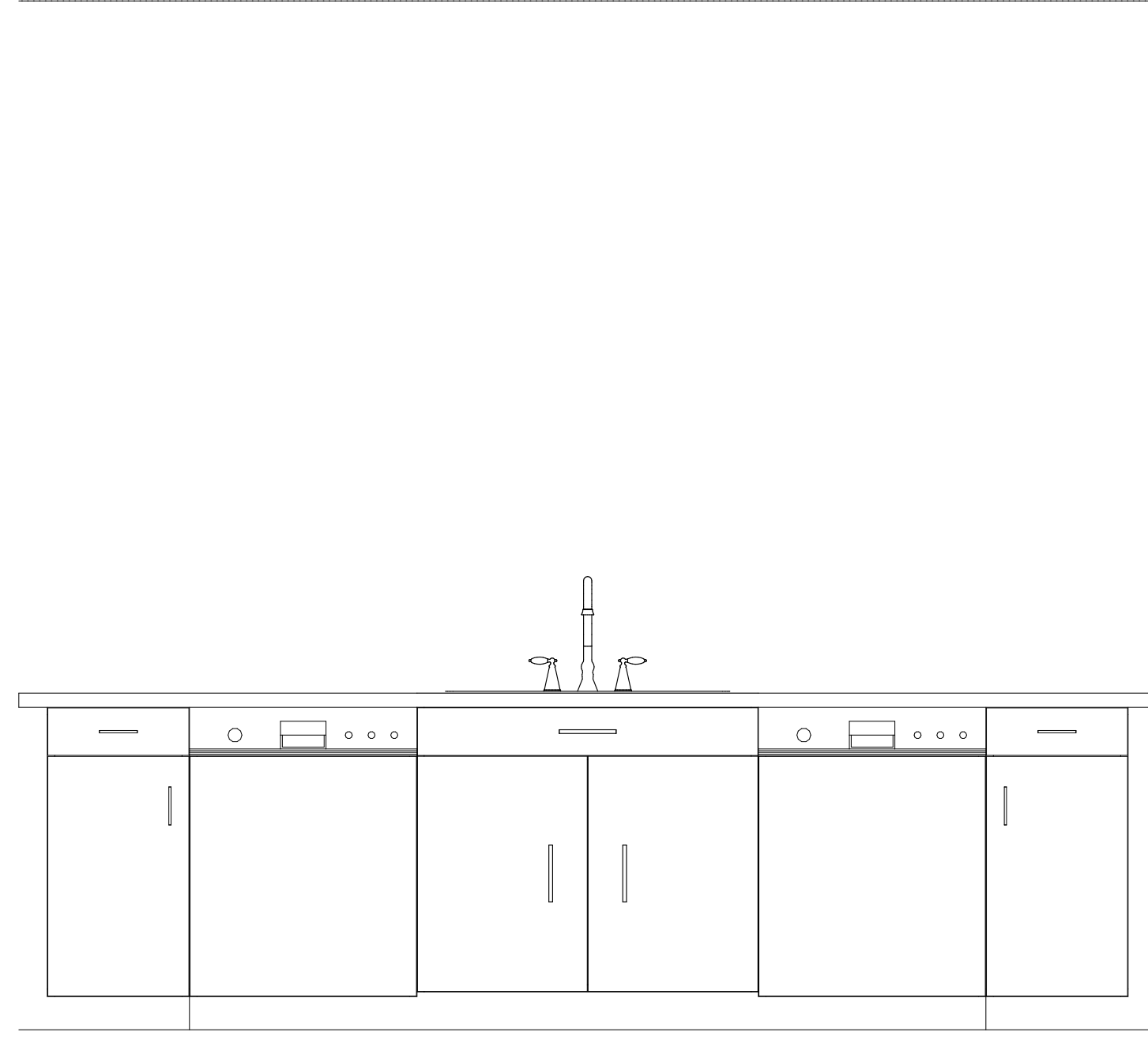
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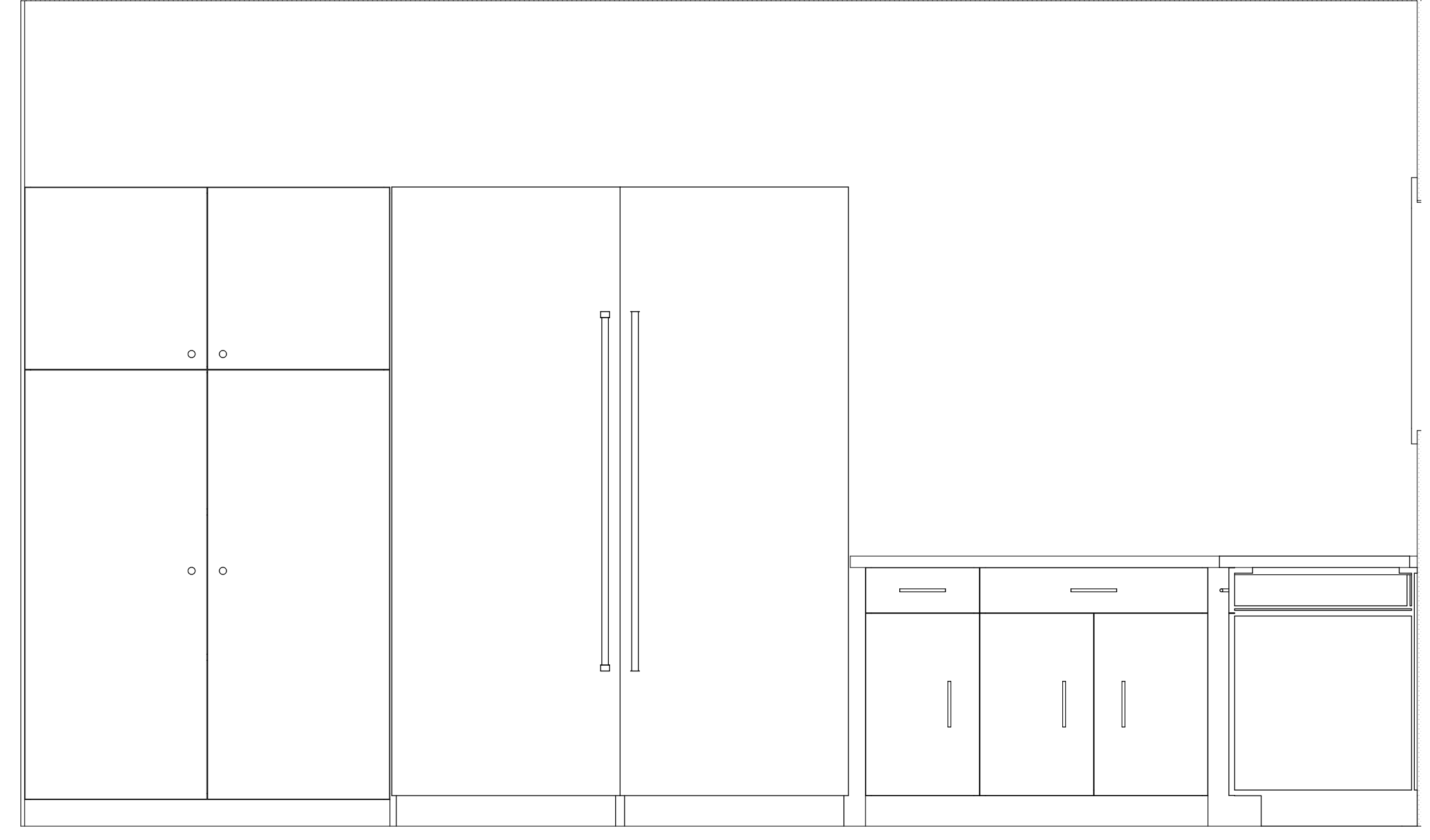
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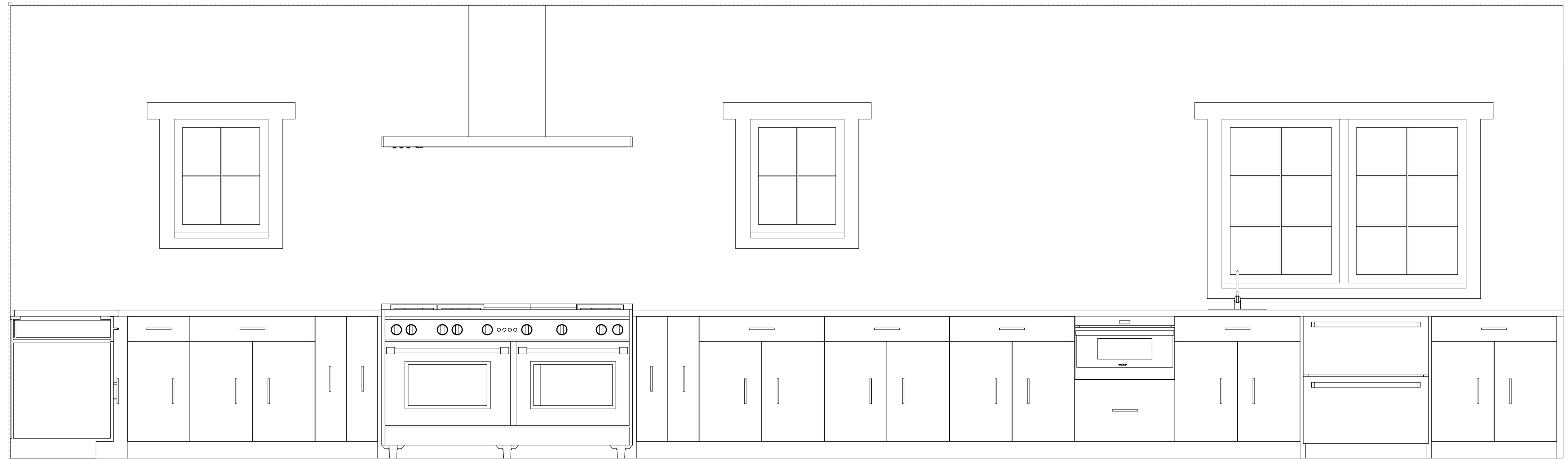
3 LOWER FLOOR BAR
SCALE: 3/4" = 1'-0"



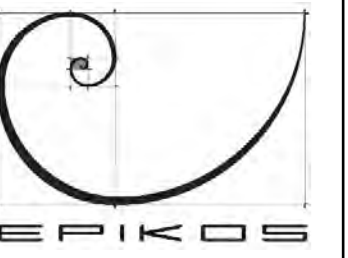
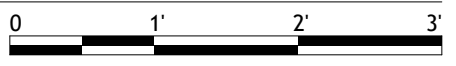
2 KITCHEN ISLAND
SCALE: 3/4" = 1'-0"



1 KITCHEN EAST WALL
SCALE: 3/4" = 1'-0"



4 KITCHEN SOUTH WALL
SCALE: 3/4" = 1'-0"



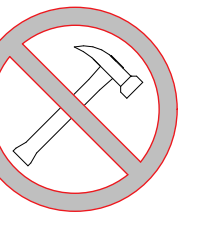
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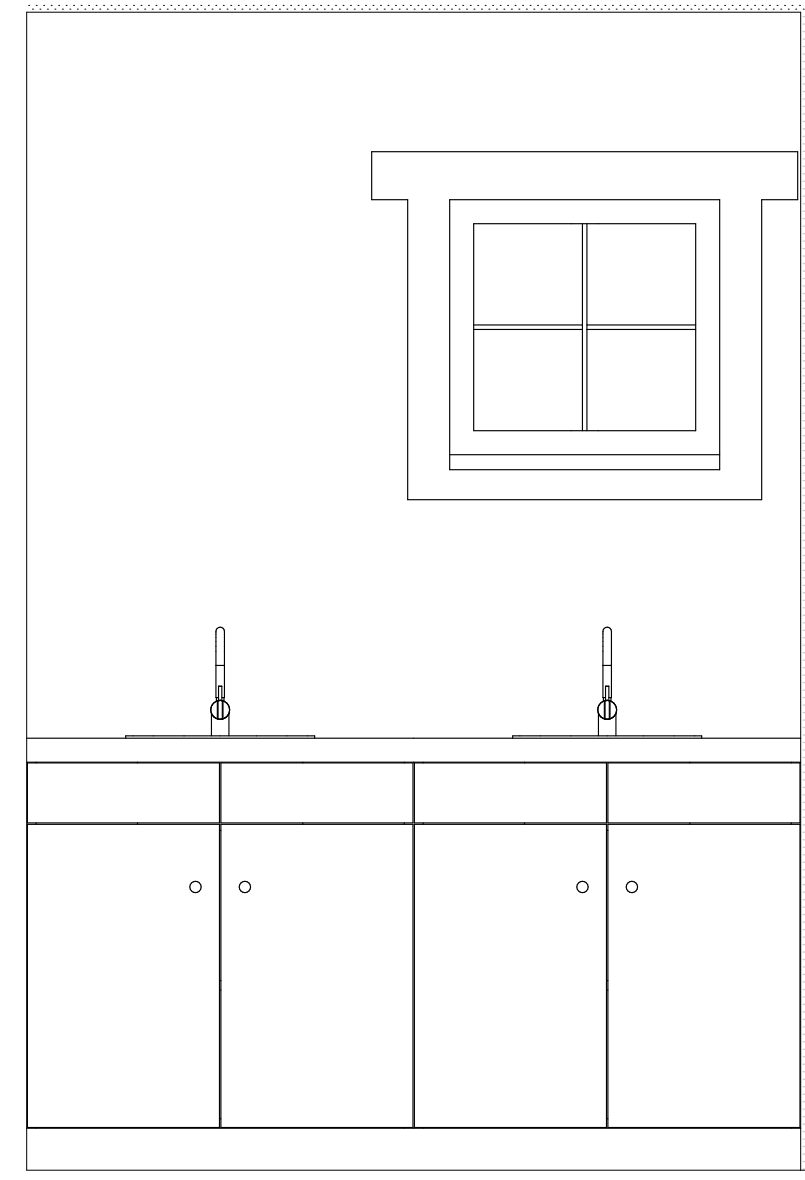
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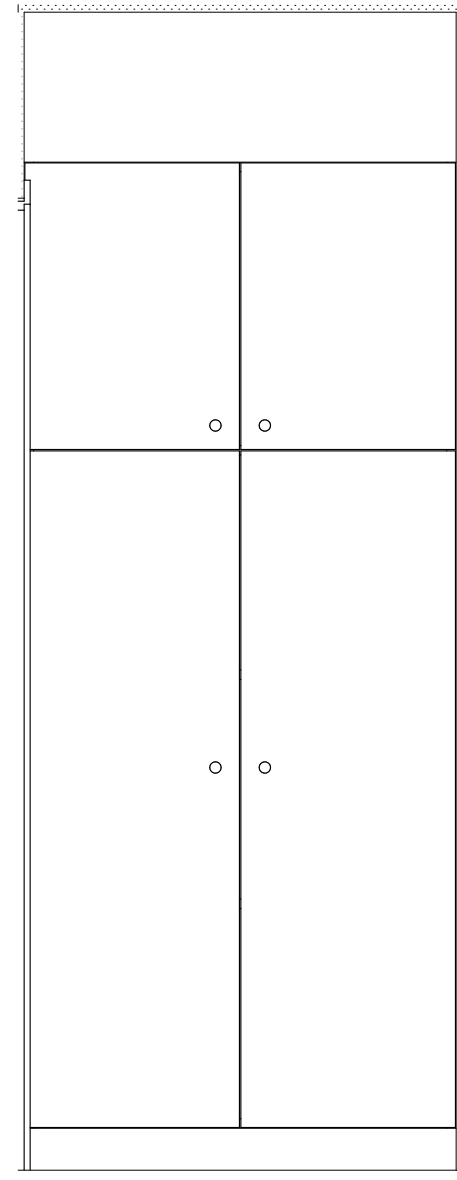
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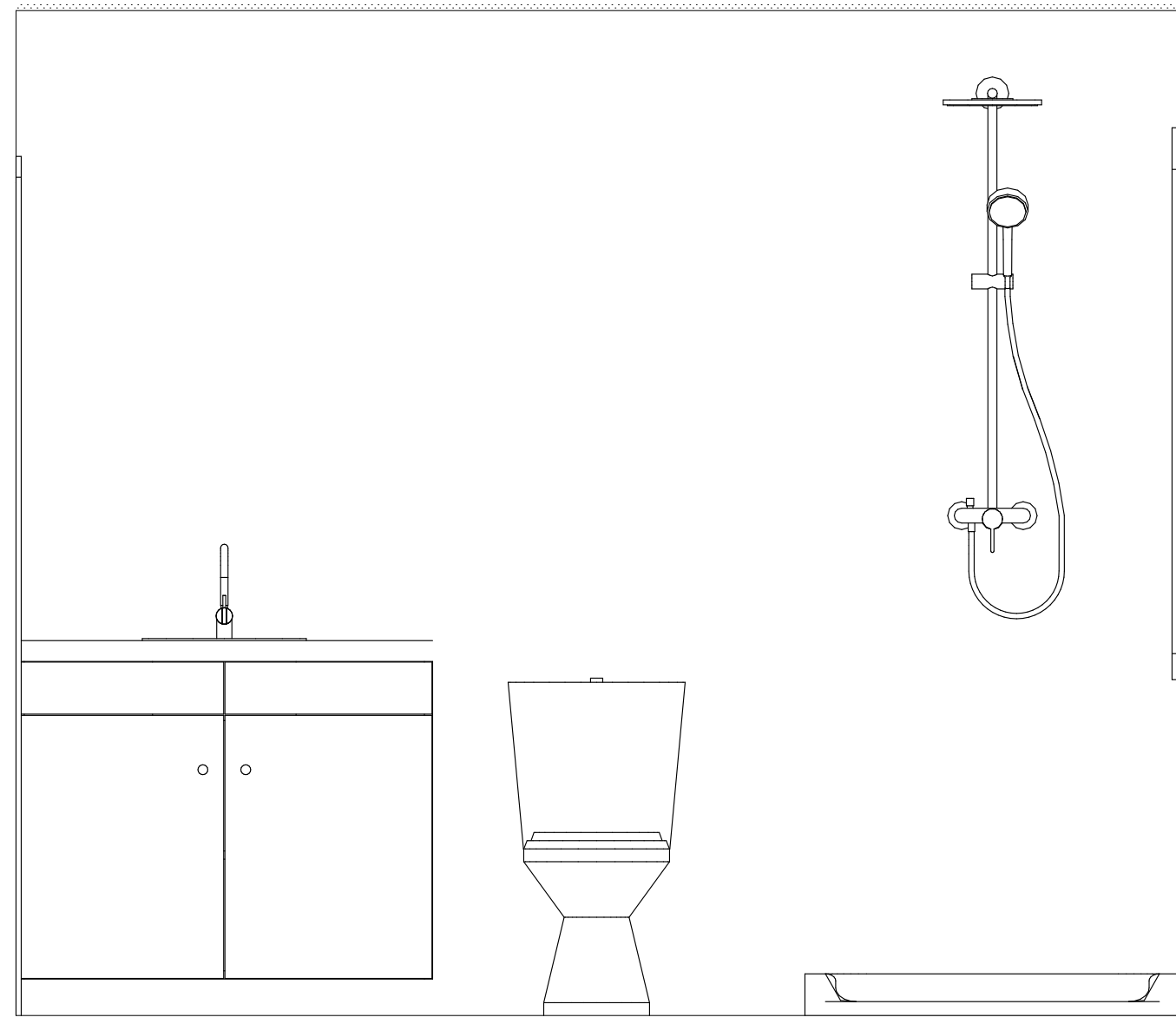
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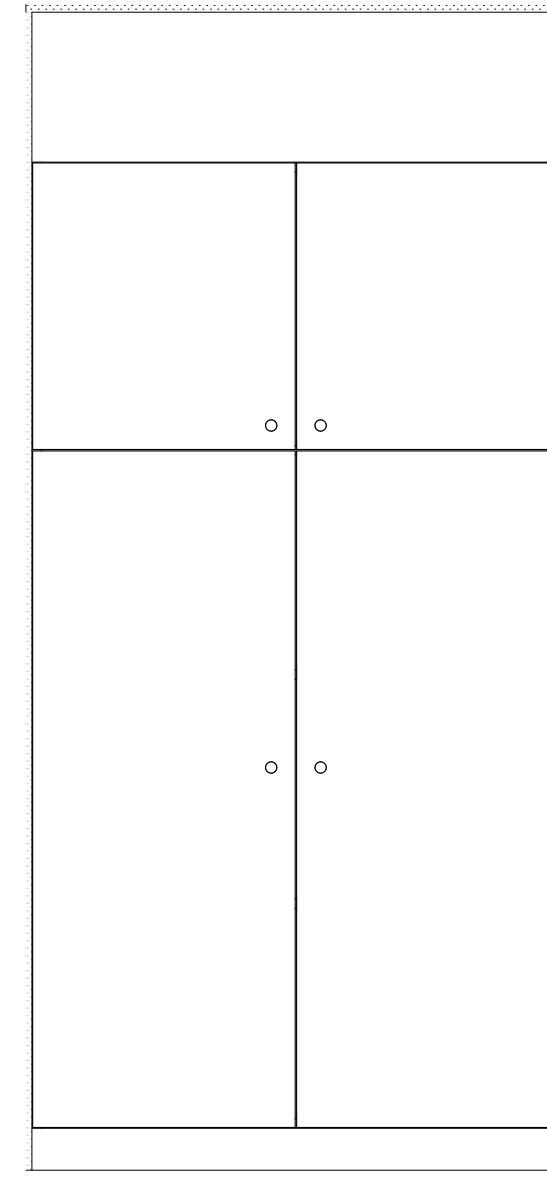
5 BATH 1
SCALE: 3/4" = 1'-0"



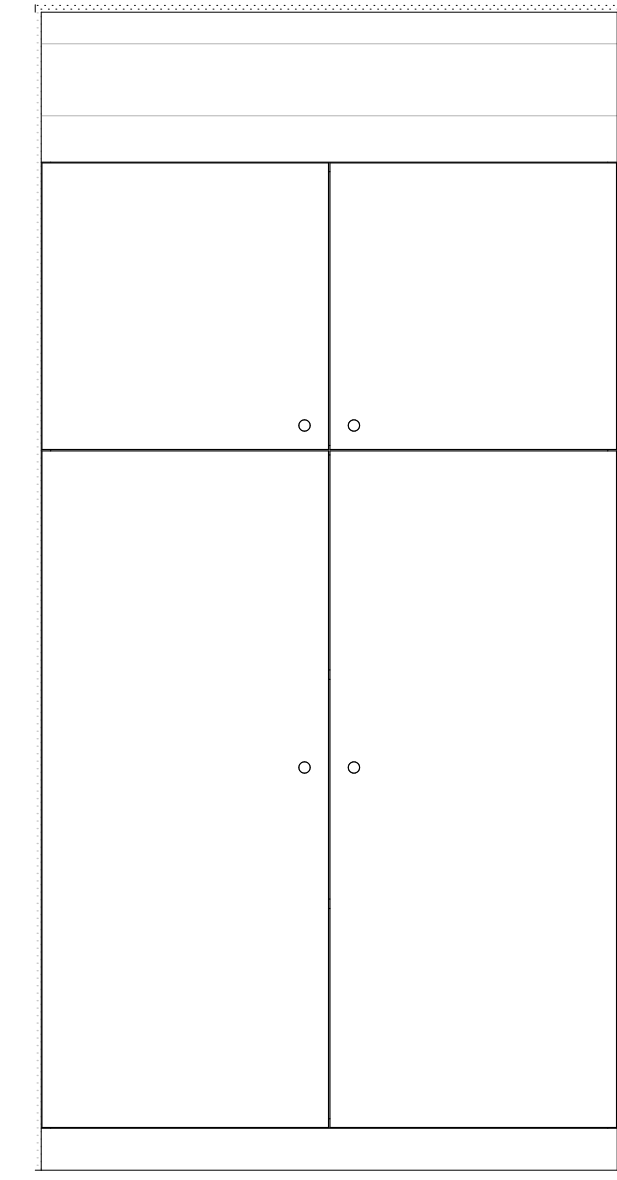
4 BATH 1
SCALE: 3/4" = 1'-0"



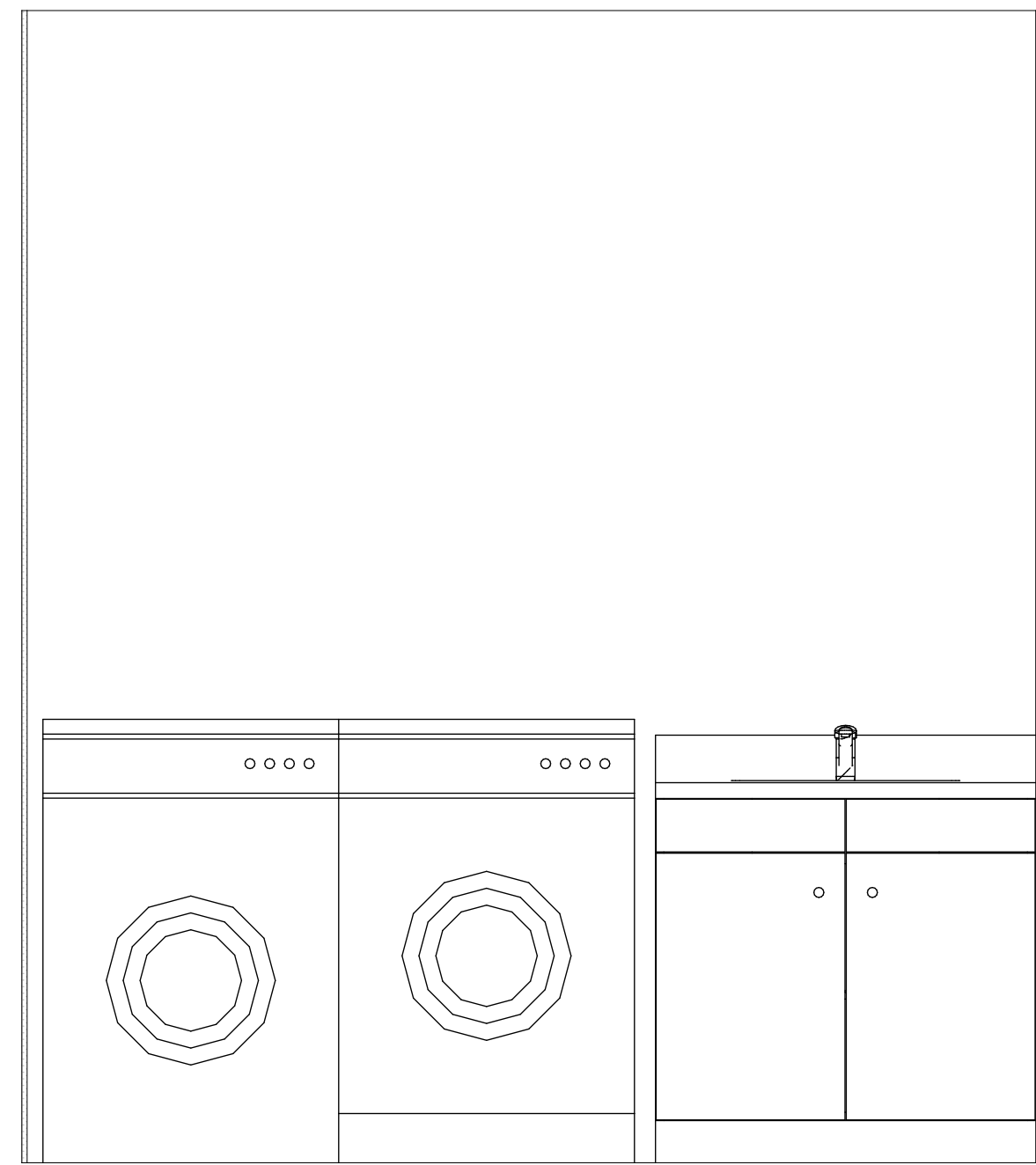
3 BATH 2
SCALE: 3/4" = 1'-0"



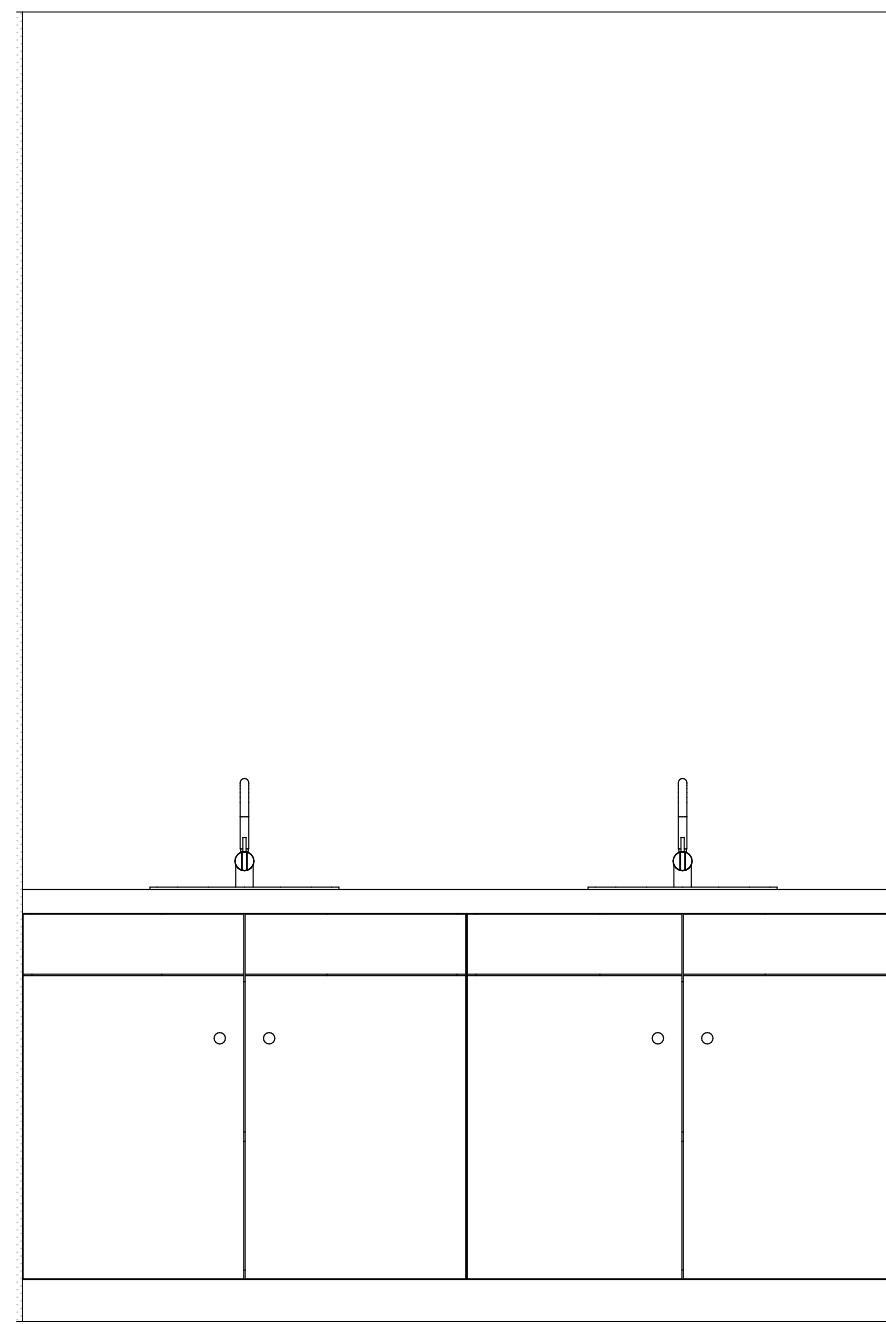
2 BEDROOM 2 CLOSET
SCALE: 3/4" = 1'-0"



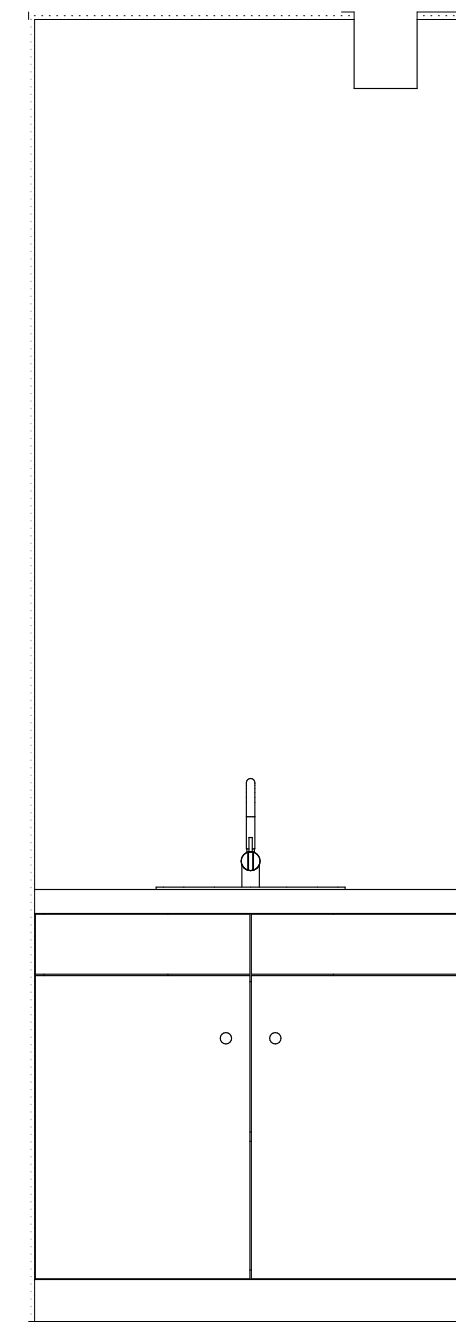
1 BUNK ROOM
SCALE: 3/4" = 1'-0"



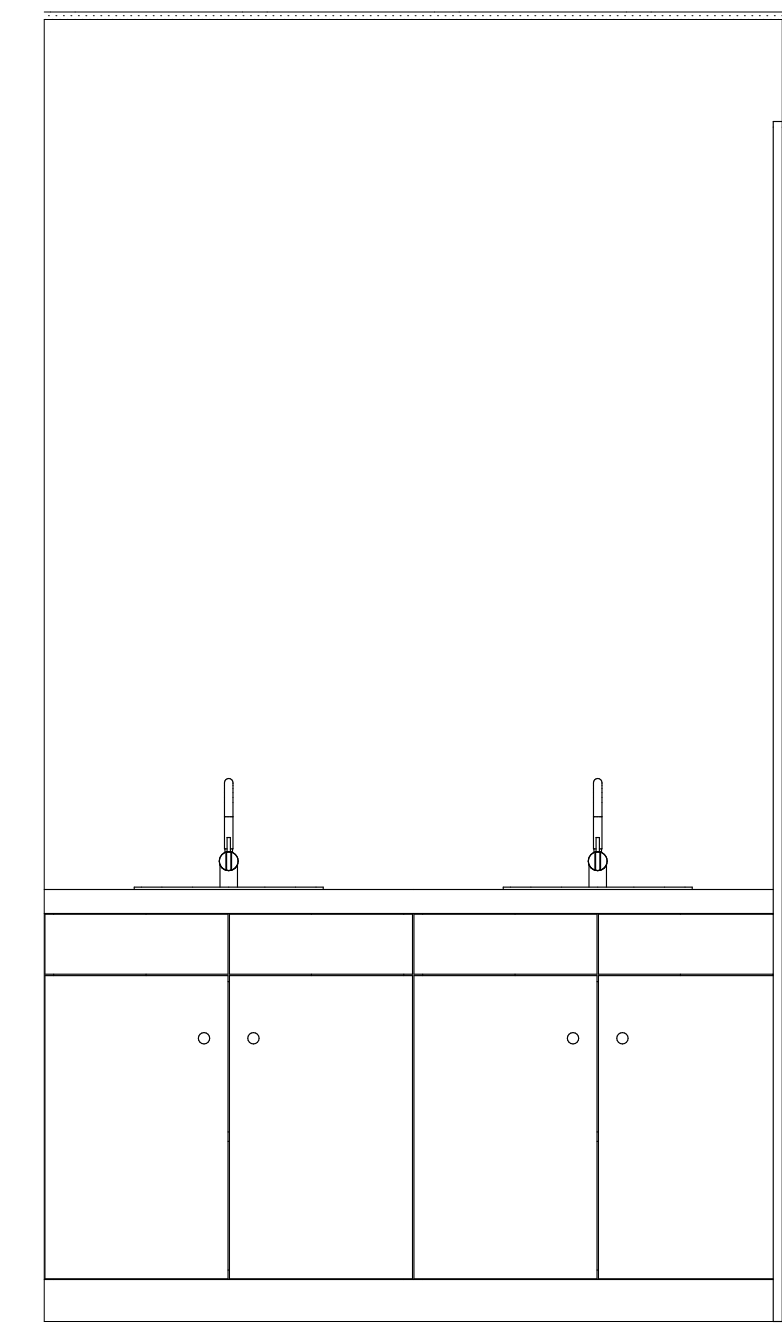
9 LAUNDRY
SCALE: 3/4" = 1'-0"



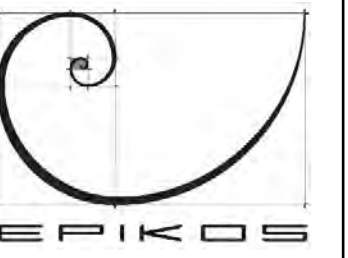
8 BATH 3
SCALE: 3/4" = 1'-0"



7 POWDER
SCALE: 3/4" = 1'-0"



6 MASTER BATH
SCALE: 3/4" = 1'-0"



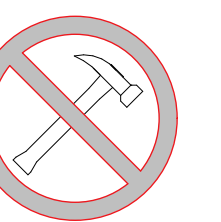
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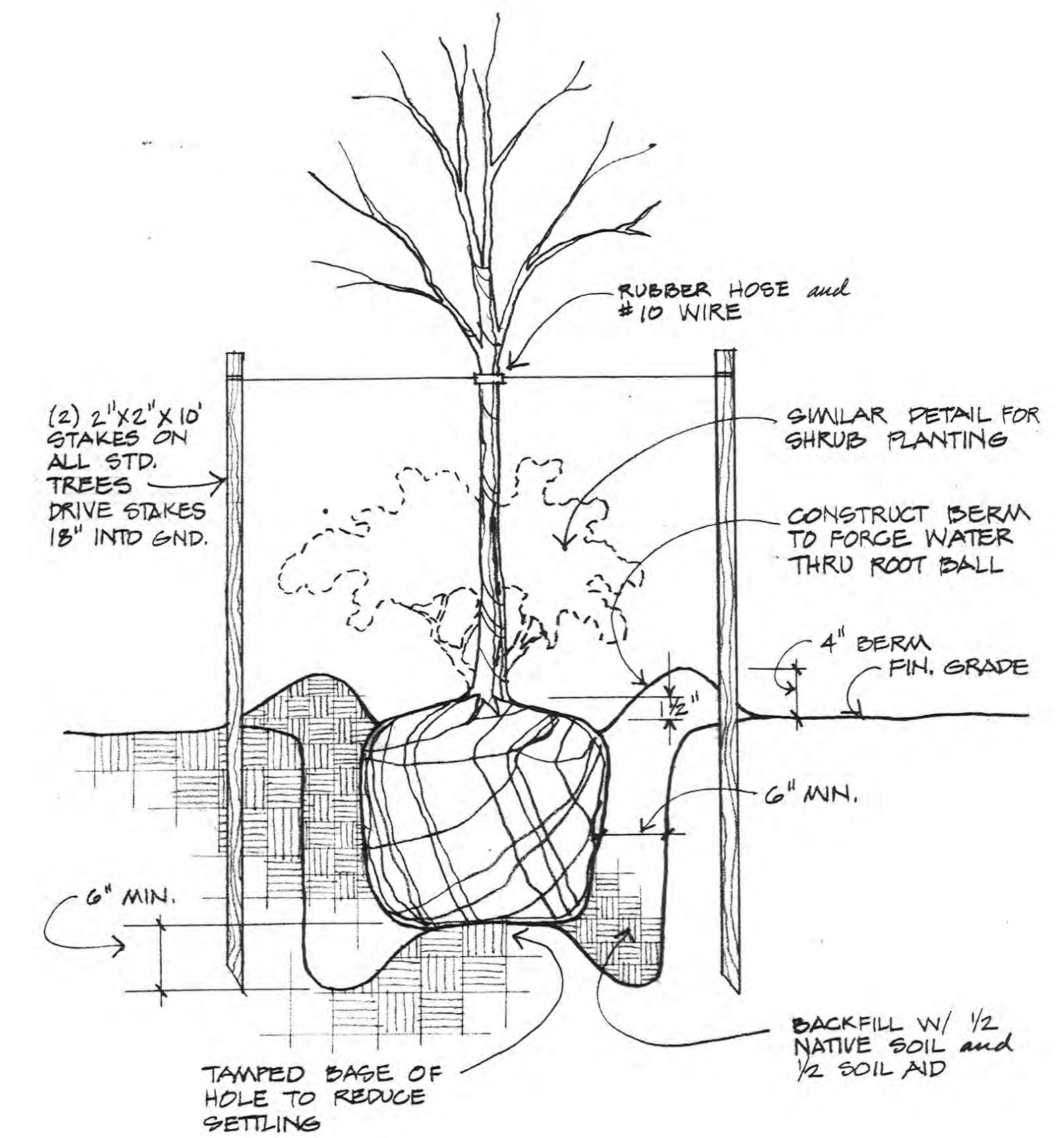
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GENERAL NOTES

- Contractor shall verify existing conditions and grades prior to start of construction.
- The extent of existing underground utilities is not known. Contractor shall field verify existing grades, utilities and conditions, and notify the landscape designer of any discrepancies before starting work, making modifications as directed by the landscape designer. Contractor will be required to complete the work of this project according to the proposed drawings and details. If conflicts arise in the field, contact landscape designer for resolution. Contractor shall take responsibility for any costs incurred due to damage of said utilities.
- These drawings do not specify safety materials or equipment, methods or sequencing to protect persons and property. It shall be the contractor's sole responsibility to direct and implement safety operations and procedures to protect the owner, landscape designer, subcontractors, the public, and others.
- If conflicts arise between size of areas and plans, contractor is to contact landscape designer for resolution. Failure to make such conflicts known to the landscape designer will result in contractor's liability to relocate materials.
- Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the landscape designer. The contractor shall assume full responsibility for all necessary revisions due to failure of such notification.
- Contractor shall be responsible for any coordination with subcontractors or other general contractors as required to accomplish construction operations.
- Contractor shall guarantee all plant material for (1) one full year from time of planting. All plants shall be growing vigorously and shall be free from any diseases or deformities.

PLANTING NOTES

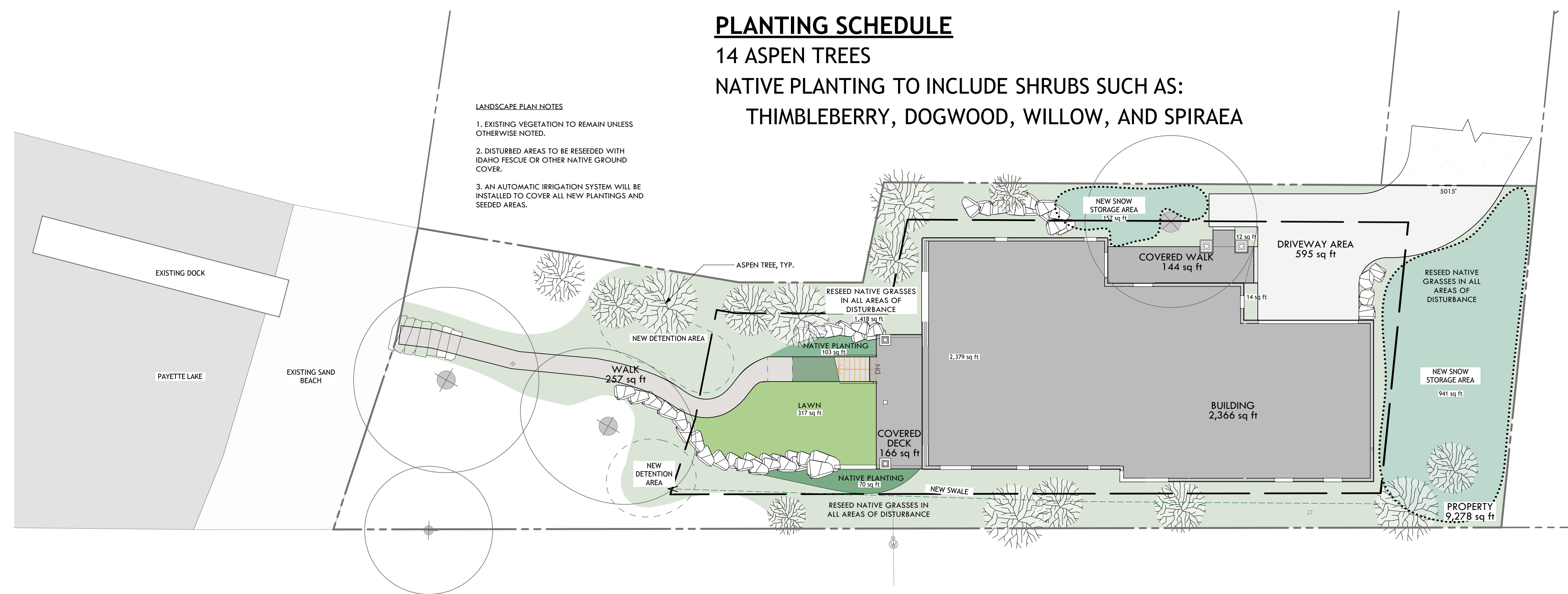
- Location of all trees and shrubs shall be placed by the contractor and approved by the landscape designers prior to final planting.
- Verify locations of all pertinent existing site improvement and utilities already installed prior to commencing planting work. If any part of this plan cannot be followed due to site conditions, contact the landscape designer for instructions prior to commencing work.
- Plant quantities symbolically shown on plan take precedence over written instructions.
- Align and equally space in all directions, ground covers and perennials per these notes and drawings.
- It is the contractor's responsibility to furnish plant material free of pests or plant diseases. Pre-selected "tagged" material must be inspected by the contractor and certified pest and disease free. It is the contractor's obligation to warranty all plant materials for one full year from time of planting.
- Hold finish grades (top of mulch) for shrubs and ground cover areas 1" below top of adjacent pavements, curbs, headers unless otherwise noted on the drawings.
- Contractor shall furnish and spread a minimum of 4" of topsoil in grass areas and 12" of topsoil in ground cover and shrub areas.
- Contractor shall design and install an in-ground, automatic irrigation system, with head-to-head coverage to cover all new sod and ground cover plantings. All trees, shrubs and perennials shall be drip irrigated.
- Contractor shall fertilize all shrubs and trees with "agriform" tablets, or an equal product per manufacturer's recommendations at time of planting.
- All trees and shrubs shall receive 1 1/2" bark mulch, "not shredded", within the drip lines shown on plans of each plant.
- All plant material shall be watered thoroughly within one hour of installation.
- All un-planted plant material's root balls shall be kept moist prior to planting.
- All trees planted in lawn areas shall receive a 1 1/2" bark in a 12" radius circle around trunk.
- Contractor shall furnish 1 1/2" diameter washed drain rock (2W x 4'D) under all eave drip lines or as shown on plan. Provide weed barrier under all drain rock.
- Contractor shall provide 1 1/2" bark mulch layer from building face to gravel band under drip line in all planted areas against the building.



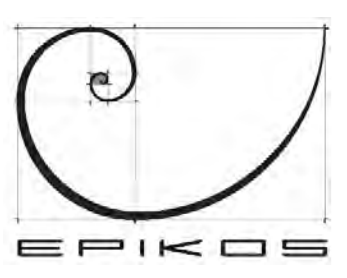
2 TREE AND SHRUB PLANTING DETAIL

PLANTING SCHEDULE

14 ASPEN TREES
 NATIVE PLANTING TO INCLUDE SHRUBS SUCH AS:
 THIMBLEBERRY, DOGWOOD, WILLOW, AND SPIRAEA



1 CONCEPT LANDSCAPE PLAN
 SCALE: 1" = 10'



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 1906 A AGATE STREET
 MCCALL, ID 83638



NOT FOR CONSTRUCTION

Revisions:

Date: 3/26/2024

Project No: 2401

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