

GRADING LEGEND

- LIMITS OF CONSTRUCTION
- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SPOT ELEVATION
- FLOW DIRECTION AND GRADIENT
- EDGE OF PAVEMENT
- TOP OF CONCRETE
- TOP OF STEP/BOTTOM OF STEP
- FINISHED GRADE
- MATCH EXISTING ELEVATION
- BENCHMARK

CALLOUT NOTES

1. RETAIN AND PROTECT EXISTING LANDSCAPE
2. RETAIN AND PROTECT EXISTING ROADWAY IMPROVEMENTS
3. PROPOSED CONCRETE DRIVEWAY OR PATIO.
4. PROPOSED 6" DEEP VEGETATED SWALE. SEE DETAIL 1 ON SHEET G1.5.

| NO. | REVISION/ISSUE | DATE |
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PROFESSIONAL ENGINEER
 REGISTERED

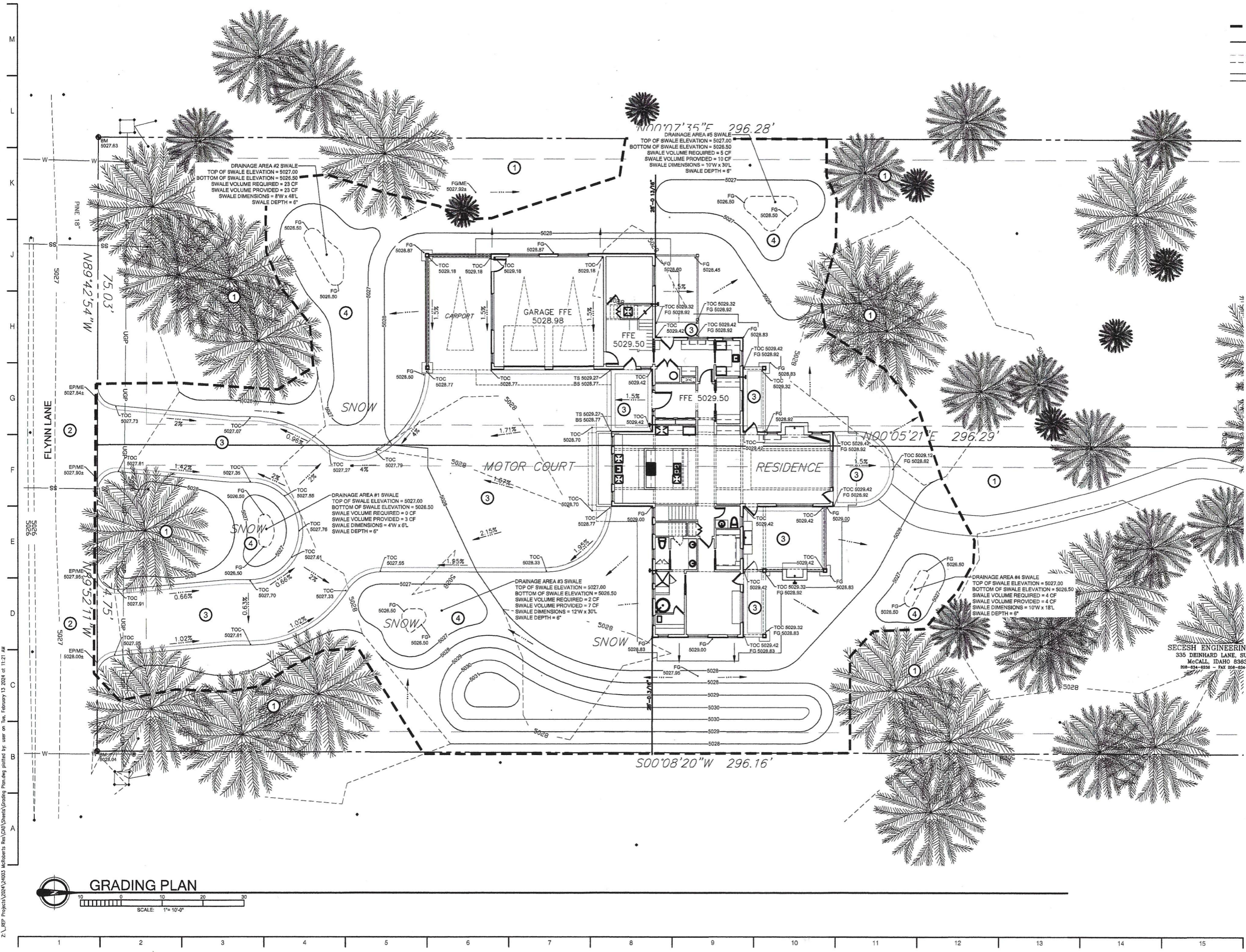
 SCOTT ACKER

811
 Know what's below.
 Call before you dig.
 CALL 2 BUSINESS DAYS
 IN ADVANCE BEFORE
 YOU DIG, GRADE, OR
 EXCAVATE FOR THE
 MARKING OF
 UNDERGROUND
 UTILITIES

REP
 RODNEY EVANS + PARTNERS
 ARCHITECTURE
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 PROJECT MANAGEMENT

MCCALL RESIDENCE
 LOTS 2 & 3, FLYNN ESTATES
 MCCALL, ID 83638

| PROJECT | | SHEET | |
|----------|--------|---------------|------|
| PROJECT | 24003 | SHEET | G1.0 |
| DATE | 2/9/24 | | |
| DRAWN BY | BSS | CHECKED BY | SA |
| | | AGENCY REVIEW | |



Z:\JEP\Projects\2024\4003 McCalls Res\DWG\Sheets\Grading\Plan.dwg plotted by user on Tue, February 13, 2024 at 11:21 AM

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2:1 SLOPE MAX.
2:1 SLOPE MAX.
2'-0" MIN.
FINISHED GRADE REFER TO PLANS
GROUND COVER PER LANDSCAPE PLANS
FINISH GRADE
GRADED BASIN BOTTOM MINIMUM 6" BELOW EXISTING ELEVATION ON DOWNHILL SIDE OF SWALE
NATIVE UNDISTURBED SOIL GRADE SMOOTH AND AVOID COMPACTION

NOTE:
1. THE USE OF SILTY LOAM OR CLAY IS PROHIBITED FROM USE AS BASIN BOTTOM MATERIAL.
2. DO NOT COMPACT BASIN AREA WITH HEAVY EQUIPMENT. IF COMPACTION OCCURS, RIP TO 12" AND REGRADE.
3. IN THE EVENT THE SWALE IS USED AS A SEDIMENT BASIN, REMOVE SILT, REGRADE TO SPECIFIED TOLERANCES.

1 VEGETATED SWALE SECTION
Scale: 1/2" = 1'-0"

GRADING GENERAL NOTES

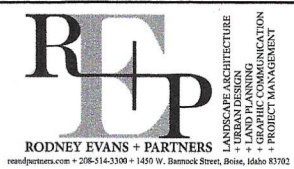
- ALL EARTHWORK INCLUDING CLEARING, GRUBBING, EXCAVATION, EMBANKMENT, BACKFILL, DEWATERING, AND EROSION CONTROL SHALL MEET THE SPECIFICATIONS OF SECTION 209 OF THE IDHWG AS WELL AS THE SPECIFICATIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEERING REPORT.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITH THE CONSTRUCTION AREA UNTIL TEMPORARY AND/OR PERMANENT DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A SHORT TERM ACTIVITY EXEMPTION PERMIT FROM THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ), CONTACT CRAIG SHEPARD AT THE SOUTHWEST REGIONAL DEQ OFFICE (375-0657). THE CONTRACTOR SHALL SUBMIT TO DEQ A DEWATERING PLAN WHICH OUTLINES THE LOCATION OF PROPOSED BMPs AND THE SEQUENCING OF THE DEWATERING ACTIVITIES. ALL CONSTRUCTION WATER GENERATED FROM EXCAVATION SHALL BE FREE OF SEDIMENT AND DEBRIS BEFORE IT LEAVES THE SITE.
- PRIOR TO PLACEMENT OF FILL MATERIAL, THE CONTRACTOR SHALL CLEAR THE SITE OF ALL WASTE MATERIALS AND VEGETATION AND PREPARE THE SUBGRADE AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL WASTE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE SITE SHALL BE PROOF-ROLLED PRIOR TO PLACEMENT OF FILL MATERIAL TO ENSURE STABILITY OF SUBGRADE. A REPRESENTATIVE OF THE GEOTECHNICAL CONSULTANT SHALL REMAIN ON SITE TO ENSURE PROPER PLACEMENT AND COMPACTION OF STRUCTURAL FILL.
- NO WORK SHALL BE DONE WITHIN JURISDICTIONAL WETLAND AREAS UNTIL A 404 PERMIT HAS BEEN ISSUED BY THE US ARMY CORPS OF ENGINEERS. ALL WORK WITHIN WETLAND AREAS SHALL ADHERE TO THE REQUIREMENTS OF THE 404 PERMIT.
- STRIP AND STOCKPILE TOPSOIL AS RECOMMENDED IN THE GEOTECHNICAL REPORT AND DISPOSE OF DEBRIS OFF-SITE. THE DEPTH OF STRIPPING COULD VARY IN THE FIELD DEPENDING ON THE DEPTH OF THE ROOT ZONE. SOIL COMPOSITION INCLUDING SOIL TYPE, MOISTURE CONTENT AND STABILITY AND THE WEATHER CONDITIONS DURING CONSTRUCTION, STRIPPING DEPTHS SHALL BE DIRECTED BY THE ONSITE GEOTECHNICAL CONSULTANT. LOCATION OF STOCKPILED MATERIAL SHALL BE COORDINATED WITH THE OWNER AND ENGINEER PRIOR TO PLACEMENT.
- TESTING SHALL BE PERFORMED PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. FILL MATERIAL WITHIN THE LOT AREAS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR PER THE REQUIREMENTS OF ASTM D 1557. TESTING FREQUENCY SHALL ALLOW FOR A MINIMUM OF ONE COMPACTION TEST PER LIFT PER LOT. THE COMPACTION TESTS ON THE FINAL LIFT FOR EACH LOT SHALL BE SUPPLIED TO THE PROJECT ENGINEER AT THE COMPLETION OF THE PROJECT.
- THE SUBGRADE WITHIN THE ROAD RIGHT-OF-WAYS SHALL BE STRIPPED, COMPACTED, INSPECTED AND PROOF ROLLED WITH A HEAVY RUBBER-TIRED FULL LOADED TANDEM AXLE OR EQUIVALENT PRIOR TO PLACEMENT OF FILL. FILL WITHIN THE ROADWAY AREAS SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY OF THE SOIL AS INDICATED BY ASTM D698 IN FLEXIBLE PAVEMENT AREAS.
- STRUCTURAL FILL IS DEFINED BY THE GEOTECHNICAL CONSULTANT. SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE WHICH TREES WITHIN THE PROJECT LIMITS ARE TO REMAIN AND WHICH ARE TO BE REMOVED.
- TOPSOIL AND OTHER STOCKPILE AREAS TO BE COORDINATED BETWEEN CONTRACTOR AND OWNER BEFORE THE START OF CONSTRUCTION.
- ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.

STANDARD UTILITY NOTES

- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL NOTIFY RODNEY EVANS + PARTNERS, LLC OF ANY UTILITY SIZE OR LOCATION DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY BUILDING CONNECTION POINTS WITH MECHANICAL PLANS AND MECHANICAL CONTRACTOR PRIOR TO COMMENCING WORK.
- ALL PUBLIC UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE CITY OF BOISE STANDARDS AND SPECIFICATIONS.
- ALL PRIVATE UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS, THE LATEST EDITION OF THE IDAHO SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND THE PROJECT SPECIFICATIONS. IF DISCREPANCIES OCCUR THE MORE STRINGENT REQUIREMENT SHALL BE ADHERED TO.

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MCCALL, IDAHO 83638
208-634-6326 - FAX 208-634-6322



MICROBERTS RESIDENCE
LOTS 2 & 3, FLYNN ESTATES
MCCALL, ID 83638

GRADING AND DRAINAGE DETAILS

| | | | |
|----------|--------|------------|------|
| PROJECT | 24003 | SHEET | G1.5 |
| DATE | 2/9/24 | | |
| DRAWN BY | BSS | CHECKED BY | SA |

AGENCY REVIEW

Z:\ERP Projects\2024\24003 Microberts Res (CAD)\Sheets\Grading\Plan.dwg plotted by: user on Fri, February 9 2024 at 10:40 AM

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