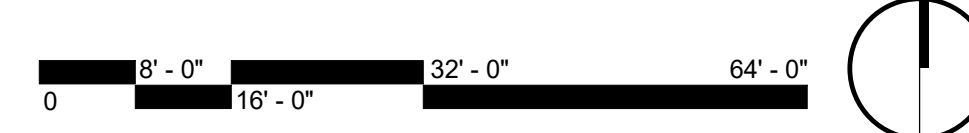


KEYNOTE LEGEND	
MARK	DESCRIPTION
1	NEW BUILDING FOOTPRINT
2	NEW PAVERS - DRAINAGE
3	CURB CUT
4	SITE TRASH ENCLOSURE
5	UNDERGROUND FUEL STORAGE TANKS
6	(4) BICYCLE PARKING SPACES
7	NEW CONCRETE DRIVEWAY
8	PROPOSED LANDSCAPE - SEE LANDSCAPE PLAN
9	SNOW STORAGE
10	UNDERGROUND 500GAL PROPANE STORAGE TANKS, 10' OFFSET SHOWN
11	NEW CONCRETE SIDEWALK
12	EXTERIOR SITE STAIRS
13	NEW CONCRETE CURB & GUTTER
14	PLAZA SPACE

SITE ANALYSIS	
ADDRESS :	1301 E LAKE STREET MCCALL, ID 83838
ASSESSORS PARCEL NUMBER :	RPM0172004001A
JURISDICTION :	CITY OF MCCALL
ZONING :	CBD
LAND-USE :	COMMERCIAL
MAXIMUM BUILDING HEIGHT :	35'
SITE AREA :	
ACERAGE -	.419
SQUARE FOOTAGE -	
LOT 1 -	3,646 SQFT
LOT 2 -	3,646 SQFT
LOT 3 -	3,646 SQFT
LOT 4 -	3,644 SQFT
LOT 5 -	3,643 SQFT
TOTAL =	18,233 SQFT
LOT BUILDING COVERAGE :	
LOT 1 BUILDING -	2,262 SQFT (62%)
LOT 2 BUILDING -	2,183 SQFT (60%)
LOT 3 BUILDING -	1,786 SQFT (49%)
LOT 4 BUILDING -	1,867 SQFT (51%)
LOT 5 BUILDING -	1,863 SQFT (51%)
TOTAL =	10,061 SQFT (55%)
SETBACKS :	
FRONT -	0
SIDE (INTERIOR) -	0
SIDE (STREET) -	0
REAR -	0
ALLEY -	3
ON SITE SNOW STORAGE :	389 SQFT
PARKING :	REQUIRED PROVIDED
RESIDENTIAL - (2 PER UNIT)	10 15





PROPOSED BUILDING A
 TOP FF: 5,011.05
 BOTTOM FF: 4,997.05

PROPOSED BUILDING B
 TOP FF: 5,011.05
 BOTTOM FF: 4,997.05

THE HARDY
 1301 E LAKE STREET, MCCALL, ID 83638

LOT SIZE: 0.42 AC or 18,223 SF

ZONING: CBD

LAND USE: COMMERCIAL

JURISDICTION: CITY OF MCCALL

BUILDING FOOTPRINTS

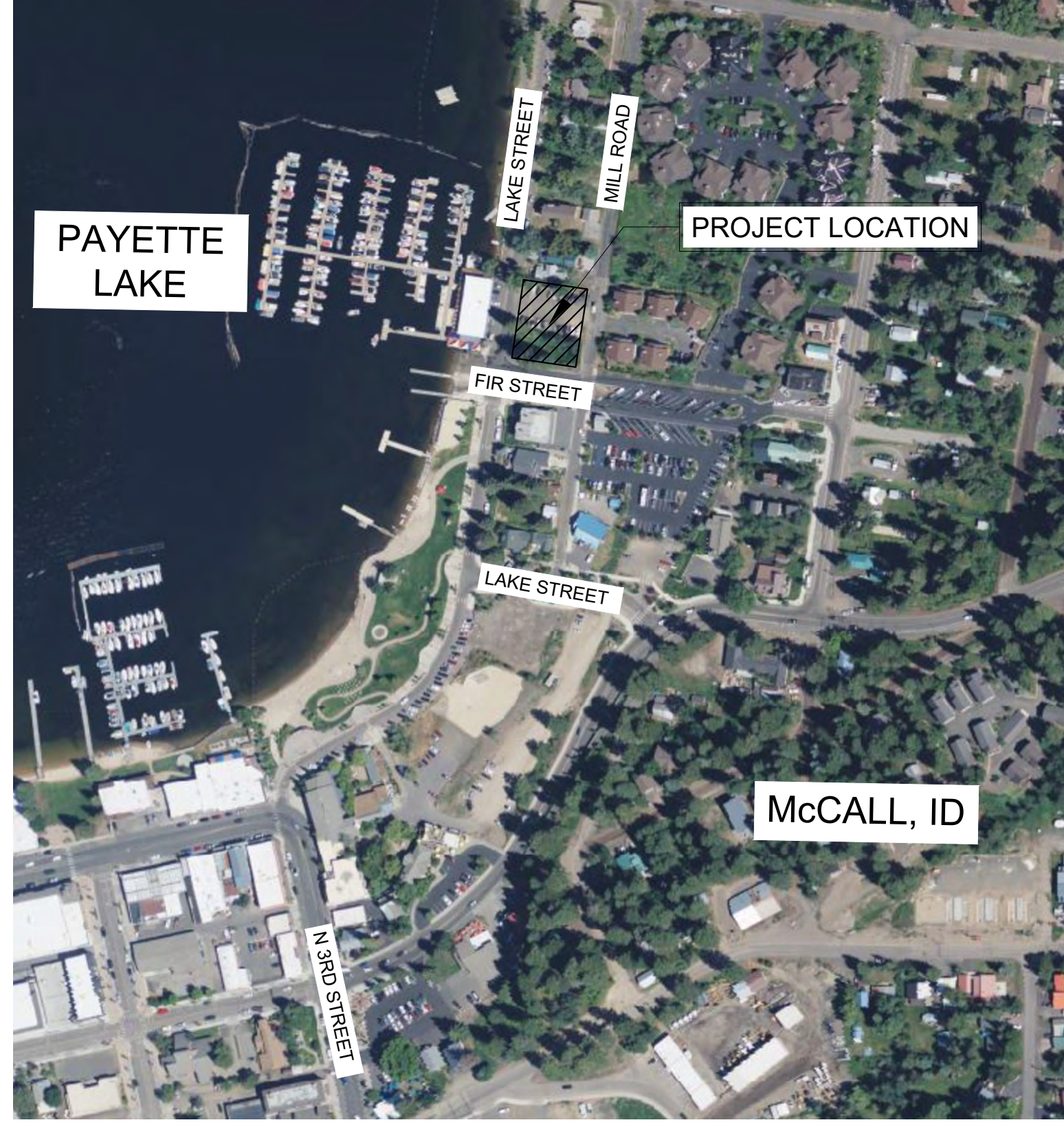
BUILDING A	5,464
BUILDING B	4,446
TOTAL FOOTPRINT =	9,910
	54.4%

LOT	AREA (SF)
1	3,646
2	3,645
3	3,645
4	3,644
5	3,643
TOTAL	18,223

Graphic Scale:
 Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36".
 Scale: 1" = 10'

- SITE & UTILITY NOTES**
1. PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS OTHERWISE NOTED ON THIS PLAN
 2. CONTRACTOR SHALL COORDINATE WITH OWNER AND CENTRAL HEALTH DISTRICT ON REMOVAL/ABANDONMENT OF ANY EXISTING SEPTIC TANKS
 3. CONTRACTOR SHALL COORDINATE WITH OWNER AND IDAHO POWER ON REMOVAL/ABANDONMENT OF ANY ON-SITE POWER.
 4. CONTRACTOR SHALL COORDINATE WITH OWNER AND INTERMOUNTAIN GAS ON REMOVAL/ABANDONMENT OF ANY ON-SITE GAS
 5. ANY WELLS ON SITE SHALL BE ABANDONED PER REGULATORY REQUIREMENTS.

- GRADING NOTES**
1. INSTALL 3" ROLLED CURB AND GUTTER PER ISPPWC STD. DWG SD-702.
 2. RETAIN AND PROTECT EXISTING STORM DRAIN INLET
 3. RETAIN AND PROTECT EXISTING CURB AND GUTTER



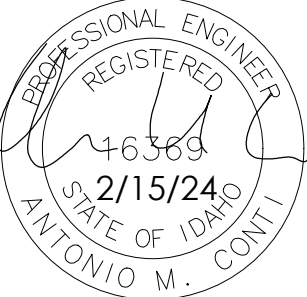
VICINITY MAP
 SCALE: 1" = 250'

No.	Revisions	By	Date	Appr.

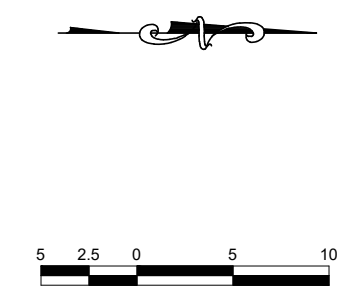
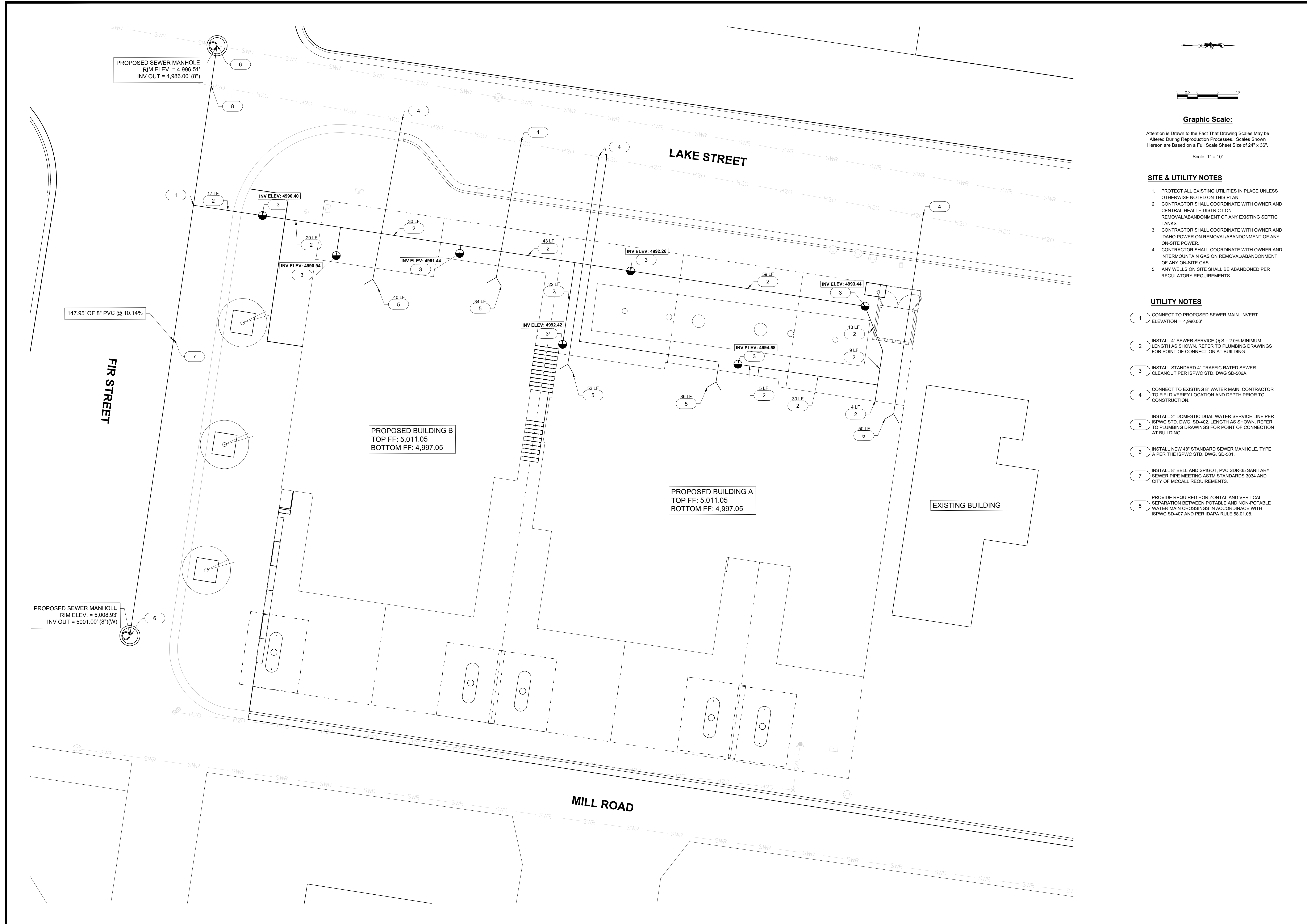
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 7661 West Riverside Drive, Ste. 102 · Garden City, ID 83714
 208.853.6470 · www.ackerman-estvold.com
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SCALE (H): PER PLAN
 SCALE (V): PER PLAN
 DRAWN BY: TRA
 DESIGNED BY: TRC
 CHECKED BY: AMC
 DATE: 2/15/24

THE HARDY TOWNHOMES
 1301 E Lake Street, McCall, ID



PROJECT NO.
 R24007



Graphic Scale:
 Attention is Drawn to the Fact That Drawing Scales May be Altered During Reproduction Processes. Scales Shown Hereon are Based on a Full Scale Sheet Size of 24" x 36".
 Scale: 1" = 10'

- SITE & UTILITY NOTES**
1. PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS OTHERWISE NOTED ON THIS PLAN
 2. CONTRACTOR SHALL COORDINATE WITH OWNER AND CENTRAL HEALTH DISTRICT ON REMOVAL/ABANDONMENT OF ANY EXISTING SEPTIC TANKS
 3. CONTRACTOR SHALL COORDINATE WITH OWNER AND IDAHO POWER ON REMOVAL/ABANDONMENT OF ANY ON-SITE POWER.
 4. CONTRACTOR SHALL COORDINATE WITH OWNER AND INTERMOUNTAIN GAS ON REMOVAL/ABANDONMENT OF ANY ON-SITE GAS
 5. ANY WELLS ON SITE SHALL BE ABANDONED PER REGULATORY REQUIREMENTS.

- UTILITY NOTES**
1. CONNECT TO PROPOSED SEWER MAIN. INVERT ELEVATION = 4,990.06'
 2. INSTALL 4" SEWER SERVICE @ S = 2.0% MINIMUM. LENGTH AS SHOWN. REFER TO PLUMBING DRAWINGS FOR POINT OF CONNECTION AT BUILDING.
 3. INSTALL STANDARD 4" TRAFFIC RATED SEWER CLEANOUT PER ISPPWC STD. DWG SD-506A.
 4. CONNECT TO EXISTING 8" WATER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION.
 5. INSTALL 2" DOMESTIC DUAL WATER SERVICE LINE PER ISPPWC STD. DWG. SD-402. LENGTH AS SHOWN. REFER TO PLUMBING DRAWINGS FOR POINT OF CONNECTION AT BUILDING.
 6. INSTALL NEW 48" STANDARD SEWER MANHOLE. TYPE A PER THE ISPPWC STD. DWG. SD-501.
 7. INSTALL 8" BELL AND SPIGOT, PVC SDR-35 SANITARY SEWER PIPE MEETING ASTM STANDARDS 3034 AND CITY OF MCCALL REQUIREMENTS.
 8. PROVIDE REQUIRED HORIZONTAL AND VERTICAL SEPARATION BETWEEN POTABLE AND NON-POTABLE WATER MAIN CROSSINGS IN ACCORDANCE WITH ISPPWC SD-407 AND PER IDAPA RULE 58.01.08.

No.	Revisions	By	Date	Appr.

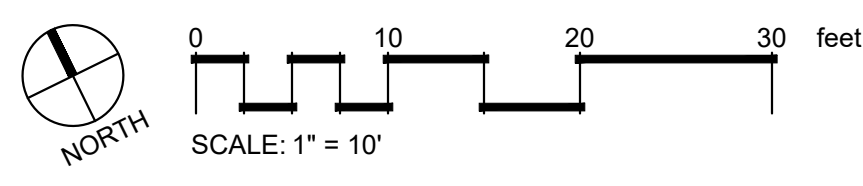
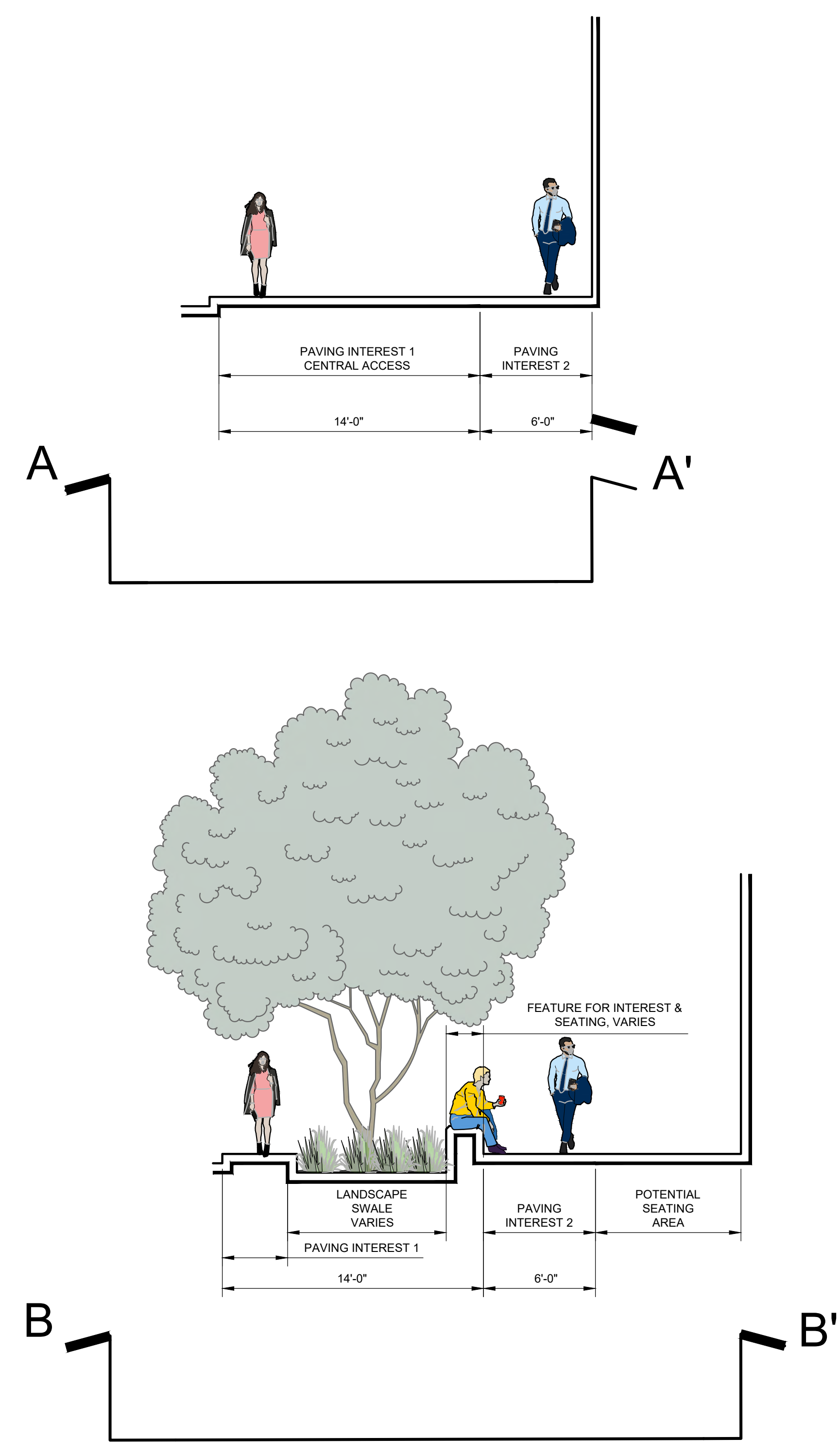
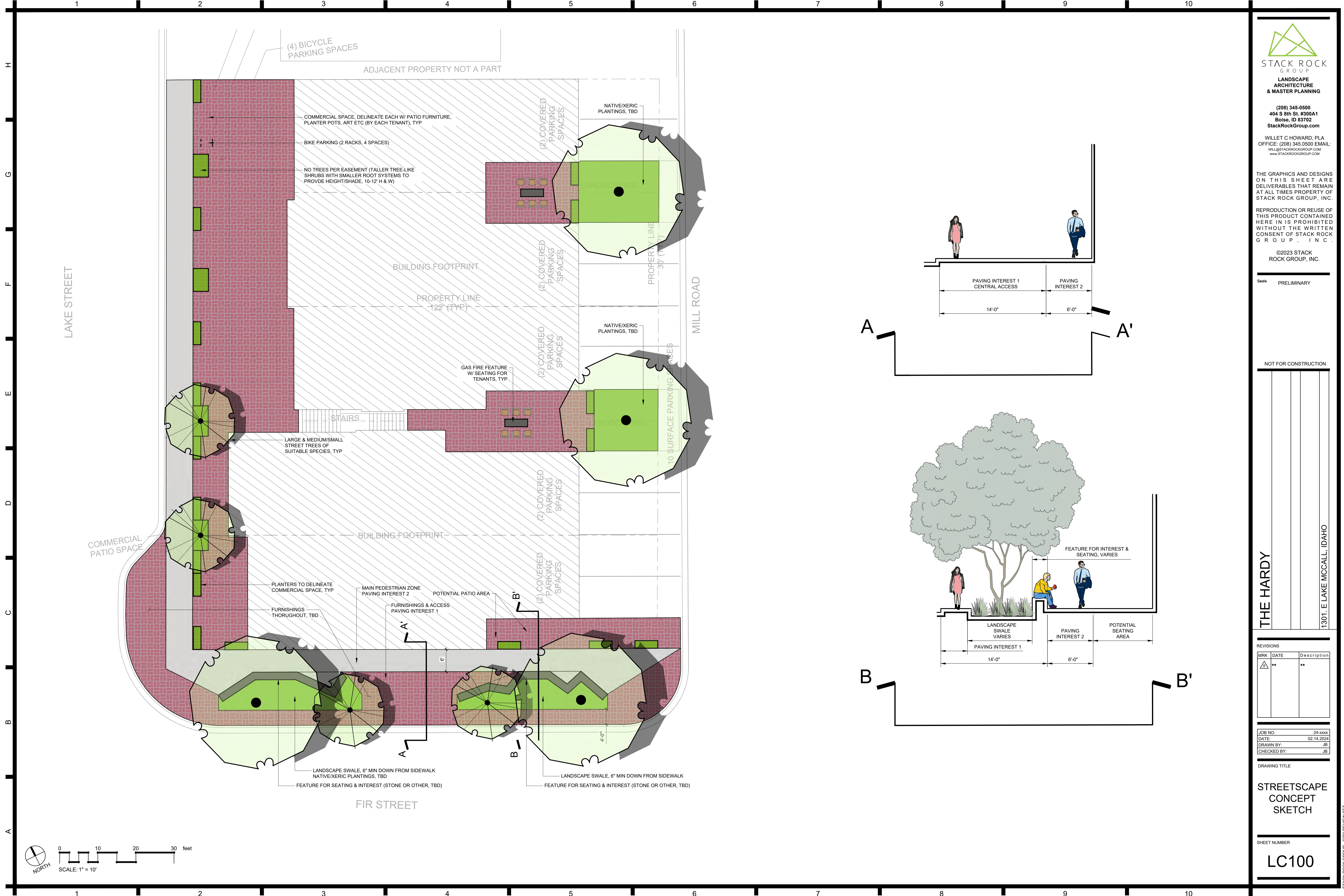
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SCALE (H): PER PLAN
 SCALE (V): PER PLAN
 DRAWN BY: TRA
 DESIGNED BY: TRA
 CHECKED BY: AMC
 DATE: 2/20/24

THE HARDY TOWNHOMES
 1301 E Lake Street, McCall, ID



PROJECT NO.
 R24007



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St. #300A1
 Boise, ID 83702
 StackRockGroup.com
 WILLET C HOWARD, PLA OFFICE: (208) 345.0500 EMAIL: WILL@STACKROCKGROUP.COM WWW.STACKROCKGROUP.COM

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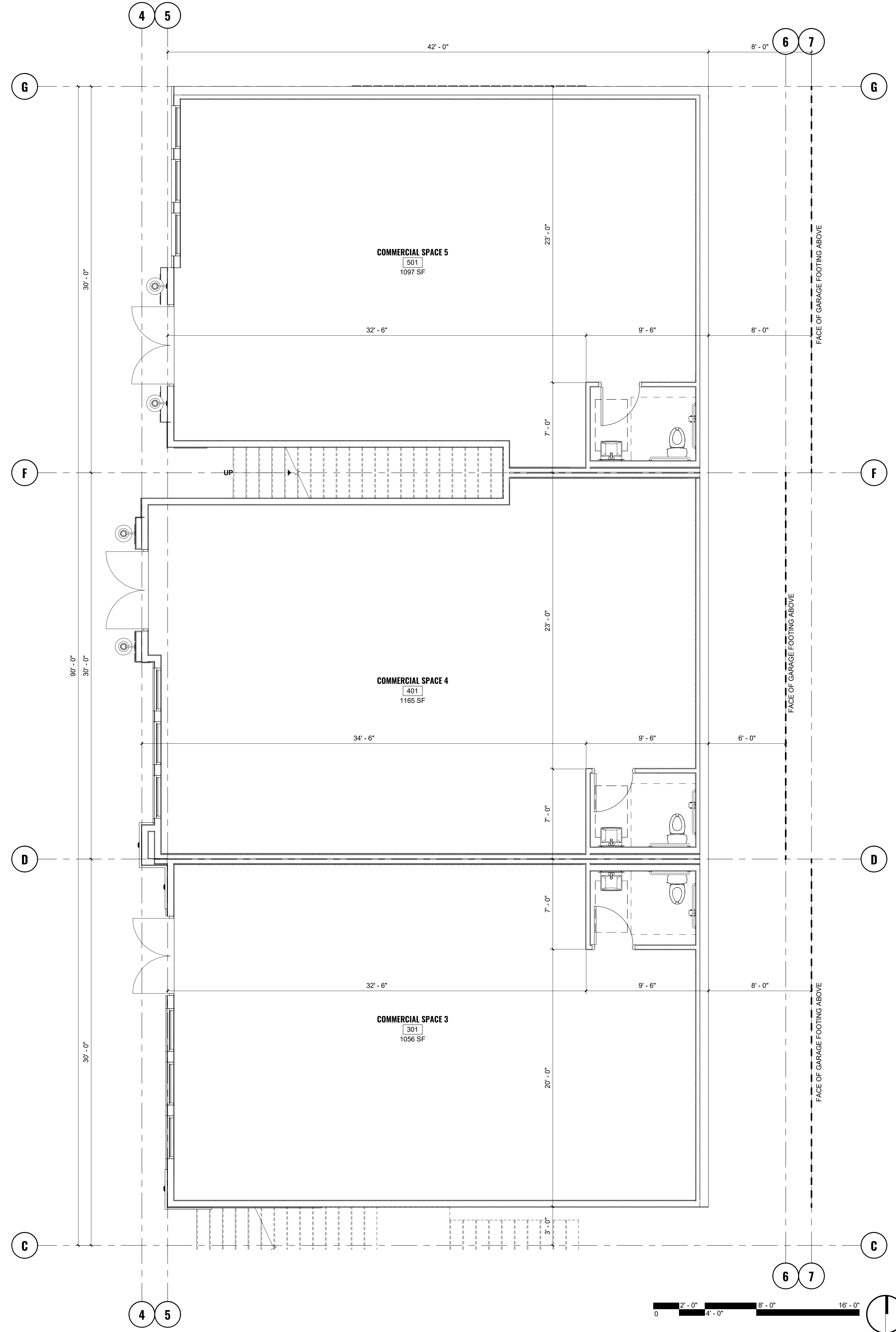
THE HARDY
 1301 E LAKE MCCALL, IDAHO

REVISIONS

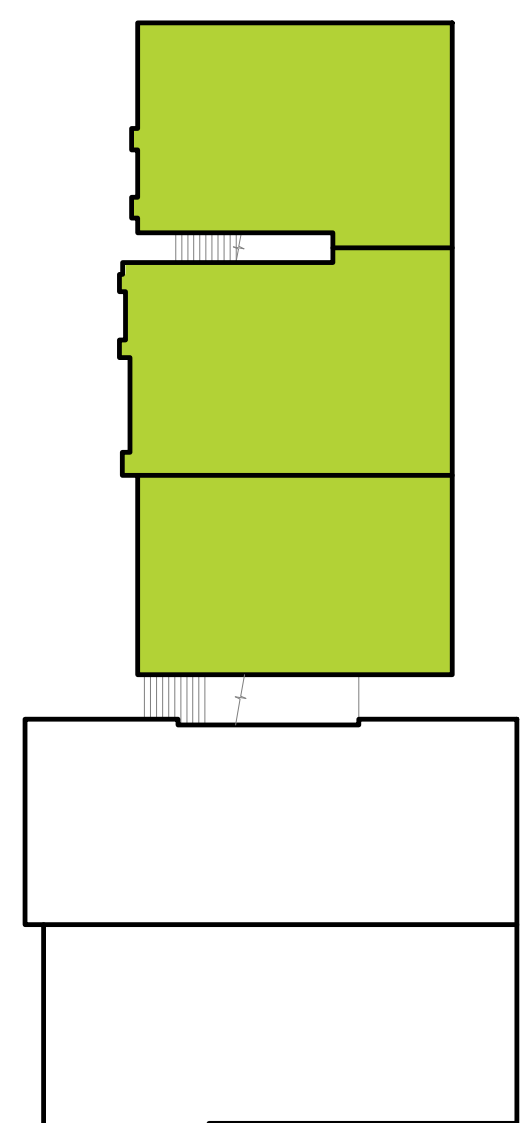
MRK	DATE	Description
△	**	**

JOB NO: 24-xxxx
 DATE: 02.14.2024
 DRAWN BY: JB
 CHECKED BY: JB

DRAWING TITLE
STREETSCAPE CONCEPT SKETCH
 SHEET NUMBER
LC100

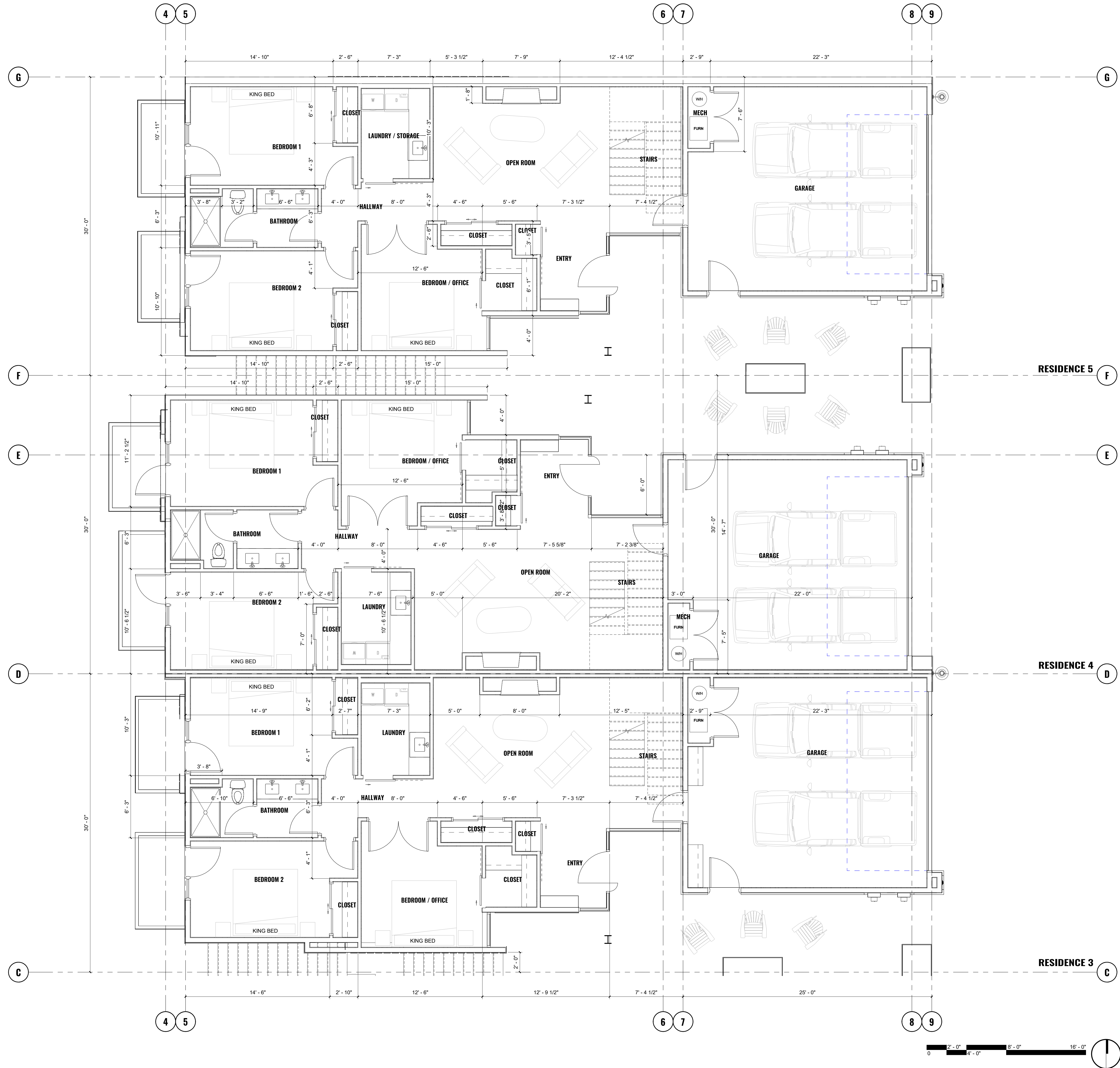


LEVEL 1 KEYPLAN

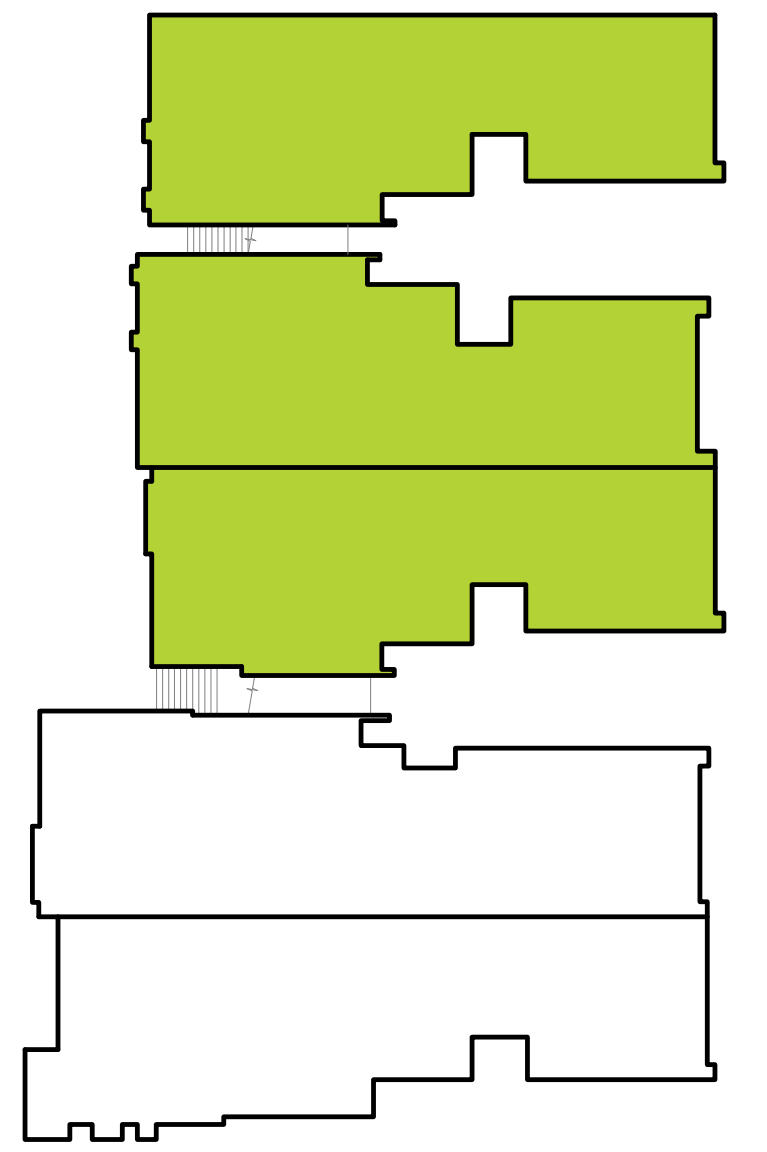


NORTH FLOOR PLAN GENERAL NOTES

	SQUARE FOOTAGE (SHOWN)	(IF SHIFTED TO GARAGE FOOTING)
COMMERCIAL SPACE 3	1,056 SQFT	1,263 SQFT
COMMERCIAL SPACE 4	1,165 SQFT	1,368 SQFT
COMMERCIAL SPACE 5	1,097 SQFT	1,381 SQFT
CEILING HEIGHT 12' - 14'		

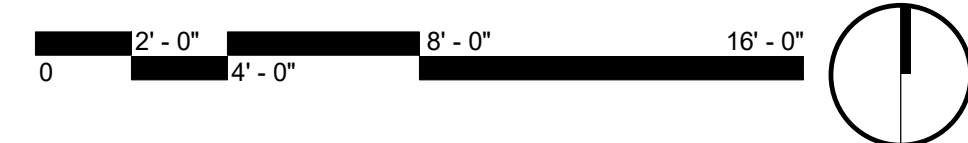


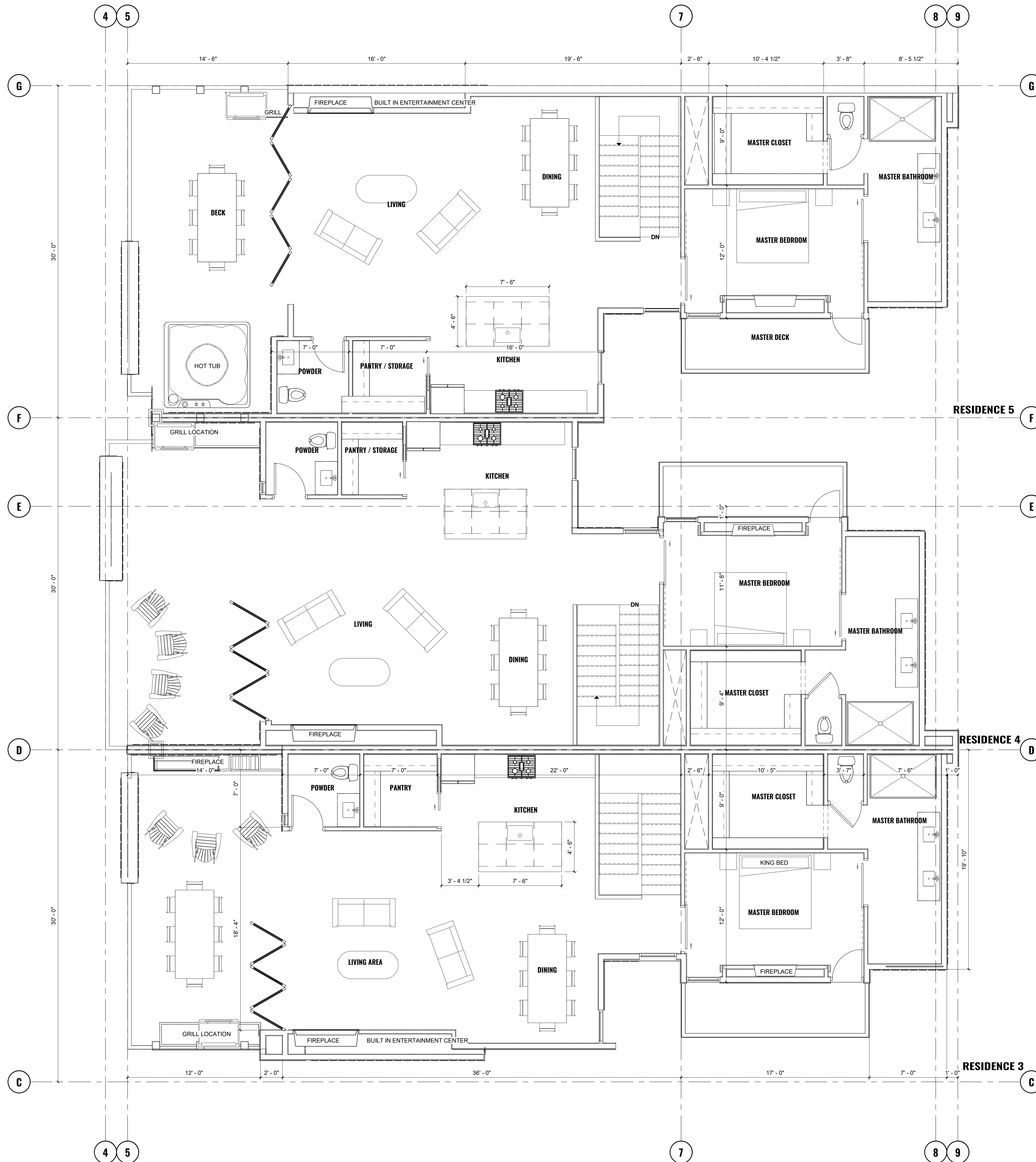
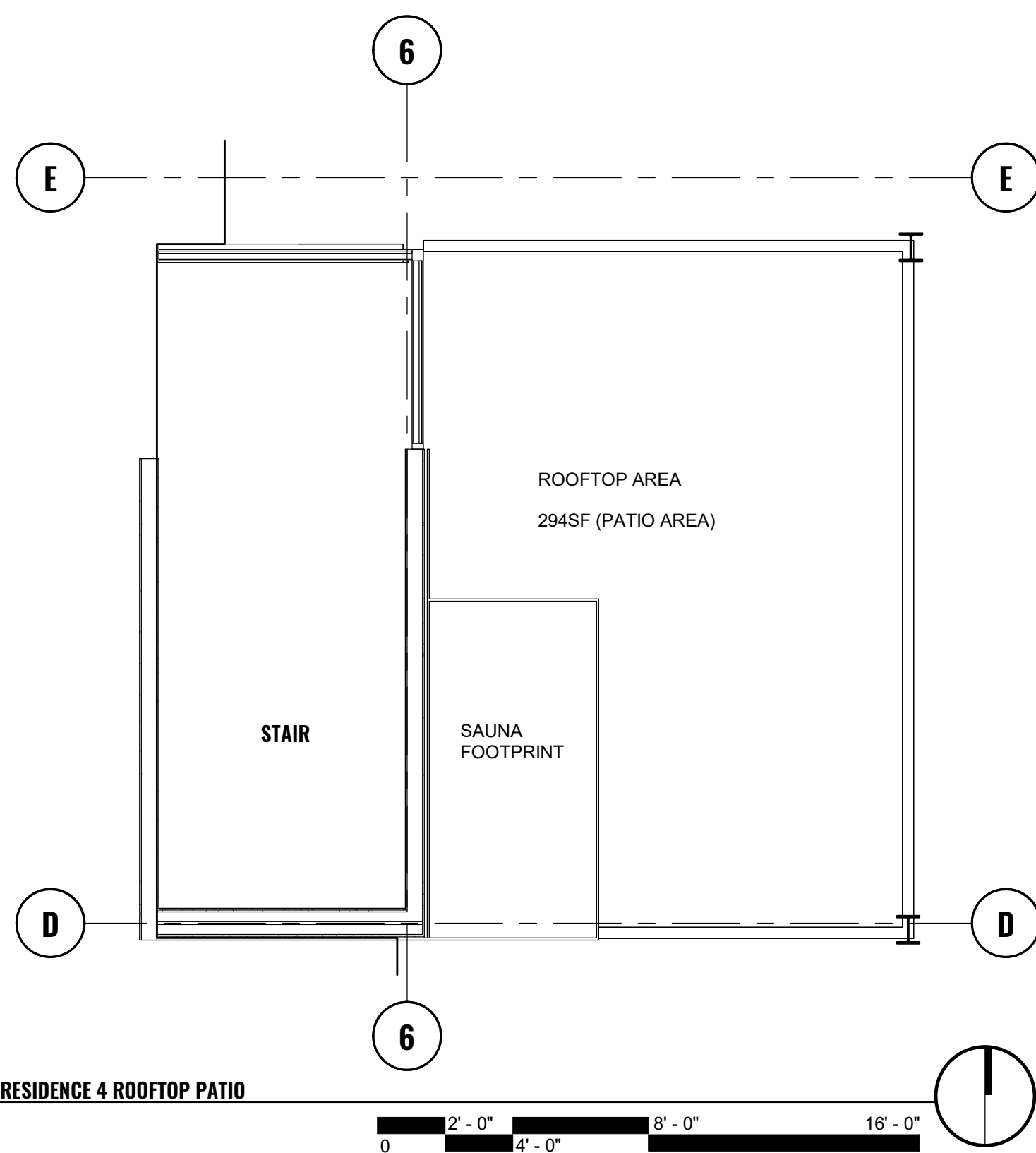
LEVEL 2 KEYPLAN



NORTH FLOOR PLAN GENERAL NOTES

	SQUARE FOOTAGE
RESIDENCE 3 (LEVEL 2)	
ENTRY	8
ENTRY CLOSET	57
OPEN ROOM	242
HALLWAY	83
HALL CLOSET	18
STAIRS	90
BEDROOM 1	154
CLOSET	15
DECK	49
BEDROOM 2	151
CLOSET	16
DECK	48
BEDROOM / OFFICE	150
CLOSET	33
BATHROOM	81
LAUNDRY	69
MECHANICAL	19
(LEVEL 3)	
MASTER BEDROOM	191
MASTER BATHROOM	162
MASTER CLOSET	90
MASTER DECK	83
DINING	110
KITCHEN	216
LIVING AREA	337
PANTRY / STORAGE	47
POWDER	46
HALL / LANDING	41
DECK	381
TOTAL	2,426
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	561
GARAGE TOTAL	491
RESIDENCE 4 (LEVEL 2)	
ENTRY	8
ENTRY CLOSET	57
OPEN ROOM	249
HALLWAY	84
HALL CLOSET	18
STAIRS	89
BEDROOM 1	168
CLOSET	16
DECK	49
BEDROOM 2	153
CLOSET	16
DECK	56
BEDROOM / OFFICE	151
CLOSET	33
BATHROOM	81
LAUNDRY	69
MECHANICAL	18
(LEVEL 3)	
MASTER BEDROOM	191
MASTER BATHROOM	162
MASTER CLOSET	90
MASTER DECK	83
DINING	149
KITCHEN	189
LIVING AREA	392
PANTRY / STORAGE	39
POWDER	46
HALL / LANDING	41
DECK	414
(LEVEL 4)	
SAUNA	53
ROOFTOP PATIO	297
TOTAL	2,677
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	899
GARAGE	491
RESIDENCE 5 (LEVEL 2)	
ENTRY	8
ENTRY CLOSET	57
OPEN ROOM	249
HALLWAY	78
HALL CLOSET	18
STAIRS	89
BEDROOM 1	156
CLOSET	15
DECK	47
BEDROOM 2	157
CLOSET	19
DECK	42
BEDROOM / OFFICE	151
CLOSET	33
BATHROOM	81
LAUNDRY	67
MECHANICAL	17
(LEVEL 3)	
MASTER BEDROOM	187
MASTER BATHROOM	156
MASTER CLOSET	84
MASTER DECK	83
DINING	143
KITCHEN	198
LIVING AREA	370
PANTRY / STORAGE	54
POWDER	46
HALL / LANDING	49
DECK	415
TOTAL	2,482
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	587
GARAGE	478



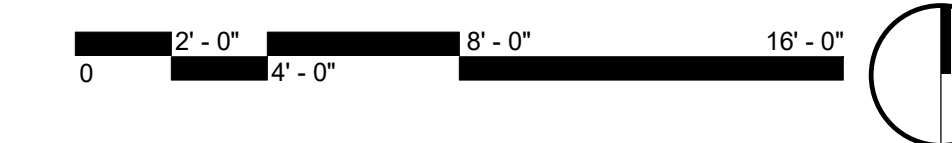


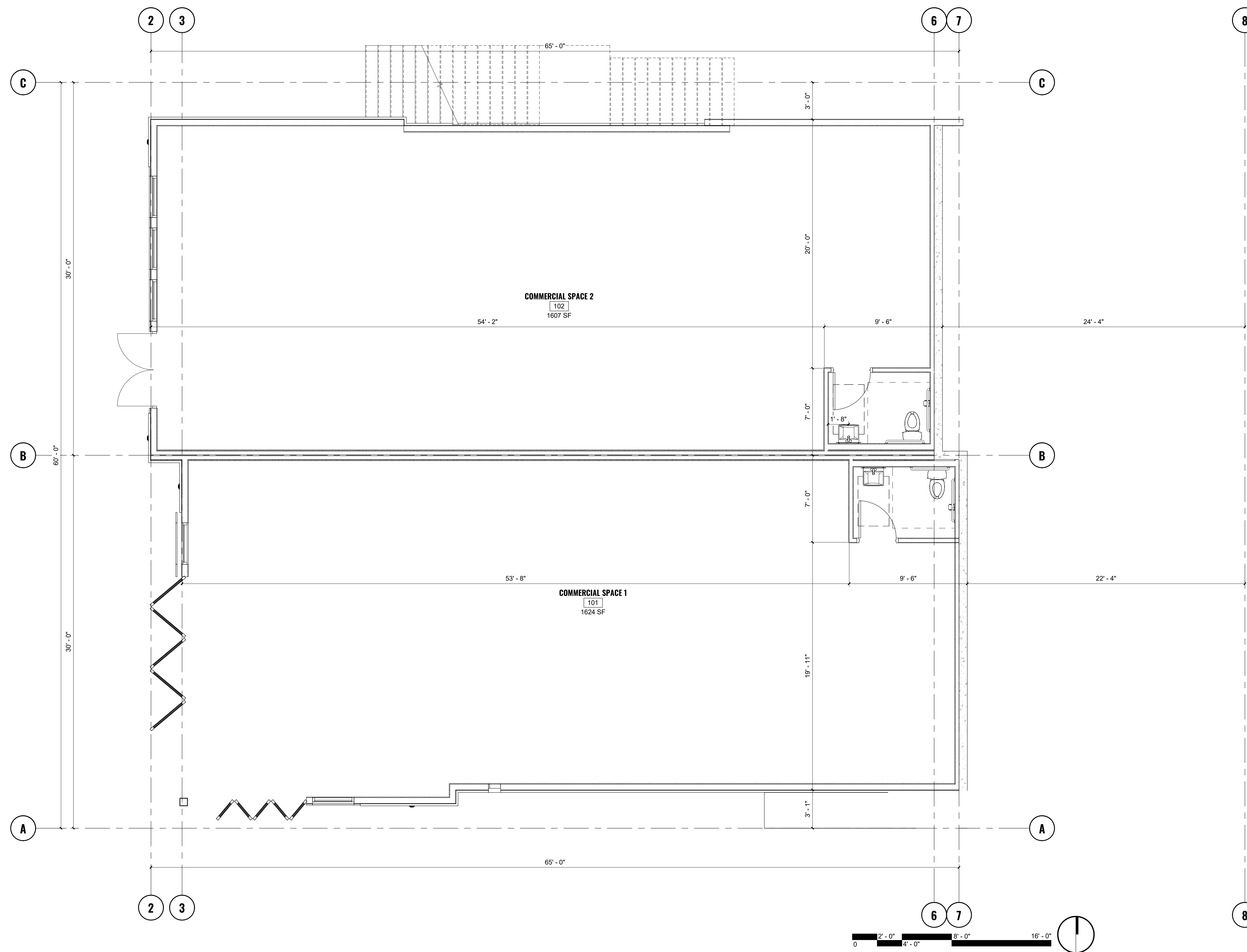
LEVEL 2 KEYPLAN



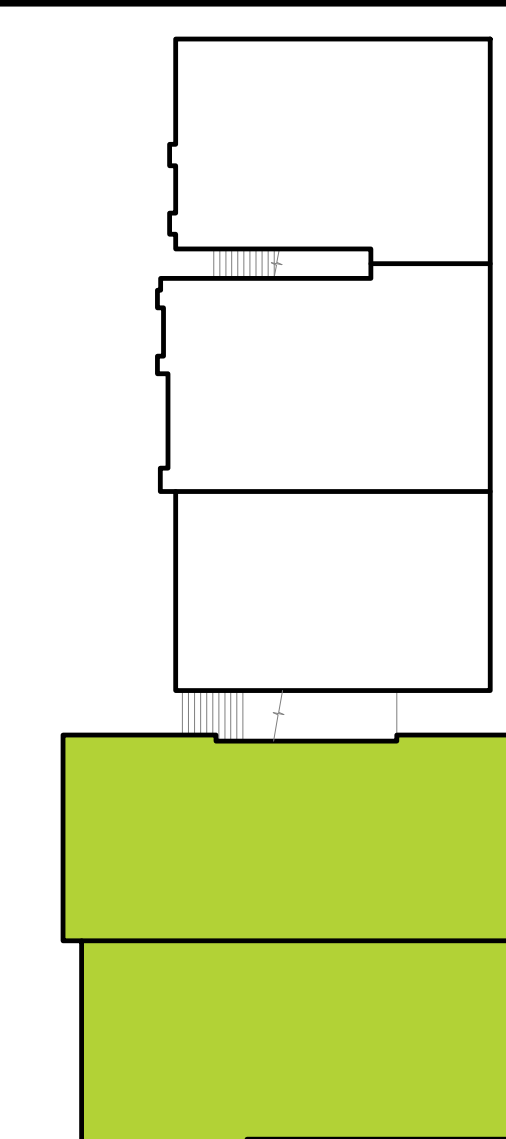
NORTH FLOOR PLAN GENERAL NOTES

	SQUARE FOOTAGE
RESIDENCE 3 (LEVEL 2)	
ENTRY	57
ENTRY CLOSET	8
OPEN ROOM	242
HALLWAY	83
HALL CLOSET	18
STAIRS	90
BEDROOM 1	154
CLOSET	15
DECK	49
BEDROOM 2	151
CLOSET	16
DECK	48
BEDROOM / OFFICE	150
CLOSET	33
BATHROOM	81
LAUNDRY	69
MECHANICAL	19
(LEVEL 3)	
MASTER BEDROOM	191
MASTER BATHROOM	162
MASTER CLOSET	90
MASTER DECK	83
DINING	110
KITCHEN	216
LIVING AREA	337
PANTRY / STORAGE	47
POWDER	46
HALL / LANDING	41
DECK	381
TOTAL	2,426
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	561
GARAGE	491
RESIDENCE 4 (LEVEL 2)	
ENTRY	57
ENTRY CLOSET	8
OPEN ROOM	249
HALLWAY	84
HALL CLOSET	18
STAIRS	89
BEDROOM 1	168
CLOSET	16
DECK	49
BEDROOM 2	153
CLOSET	16
DECK	56
BEDROOM / OFFICE	151
CLOSET	33
BATHROOM	81
LAUNDRY	69
MECHANICAL	18
(LEVEL 3)	
MASTER BEDROOM	191
MASTER BATHROOM	162
MASTER CLOSET	90
MASTER DECK	83
DINING	149
KITCHEN	189
LIVING AREA	392
PANTRY / STORAGE	39
POWDER	46
HALL / LANDING	41
DECK	414
(LEVEL 4)	
SAUNA	53
ROOFTOP PATIO	292
TOTAL	2,677
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	899
GARAGE	491
RESIDENCE 5 (LEVEL 2)	
ENTRY	57
ENTRY CLOSET	8
OPEN ROOM	249
HALLWAY	78
HALL CLOSET	18
STAIRS	89
BEDROOM 1	156
CLOSET	15
DECK	47
BEDROOM 2	157
CLOSET	19
DECK	42
BEDROOM / OFFICE	151
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BATHROOM	81
LAUNDRY	67
MECHANICAL	17
(LEVEL 3)	
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MASTER BATHROOM	156
MASTER CLOSET	84
MASTER DECK	83
DINING	143
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LIVING AREA	370
PANTRY / STORAGE	54
POWDER	46
HALL / LANDING	49
DECK	415
TOTAL	2,482
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	587
GARAGE	478





LEVEL 1 KEYPLAN



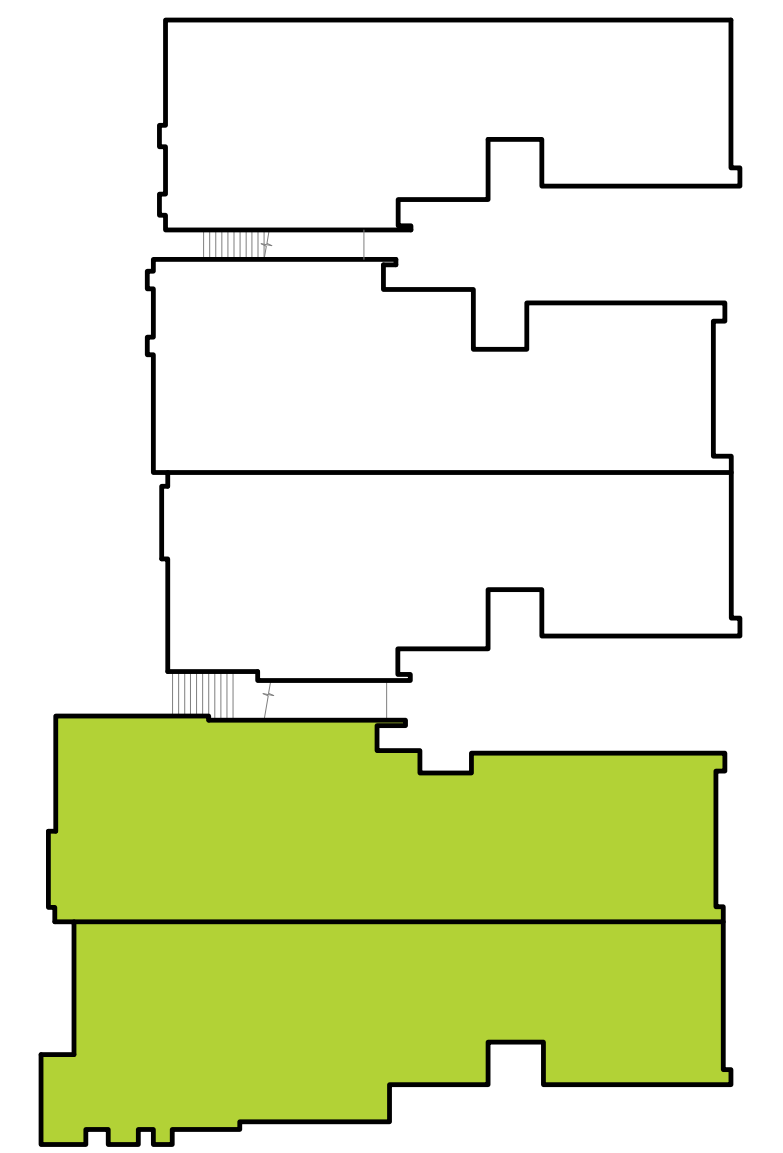
SOUTH FLOOR PLAN GENERAL NOTES

	SQUARE FOOTAGE (SHOWN)
COMMERCIAL SPACE 1	1,624 SQFT
COMMERCIAL SPACE 2	1,607 SQFT
CEILING HEIGHT 12' - 14'	



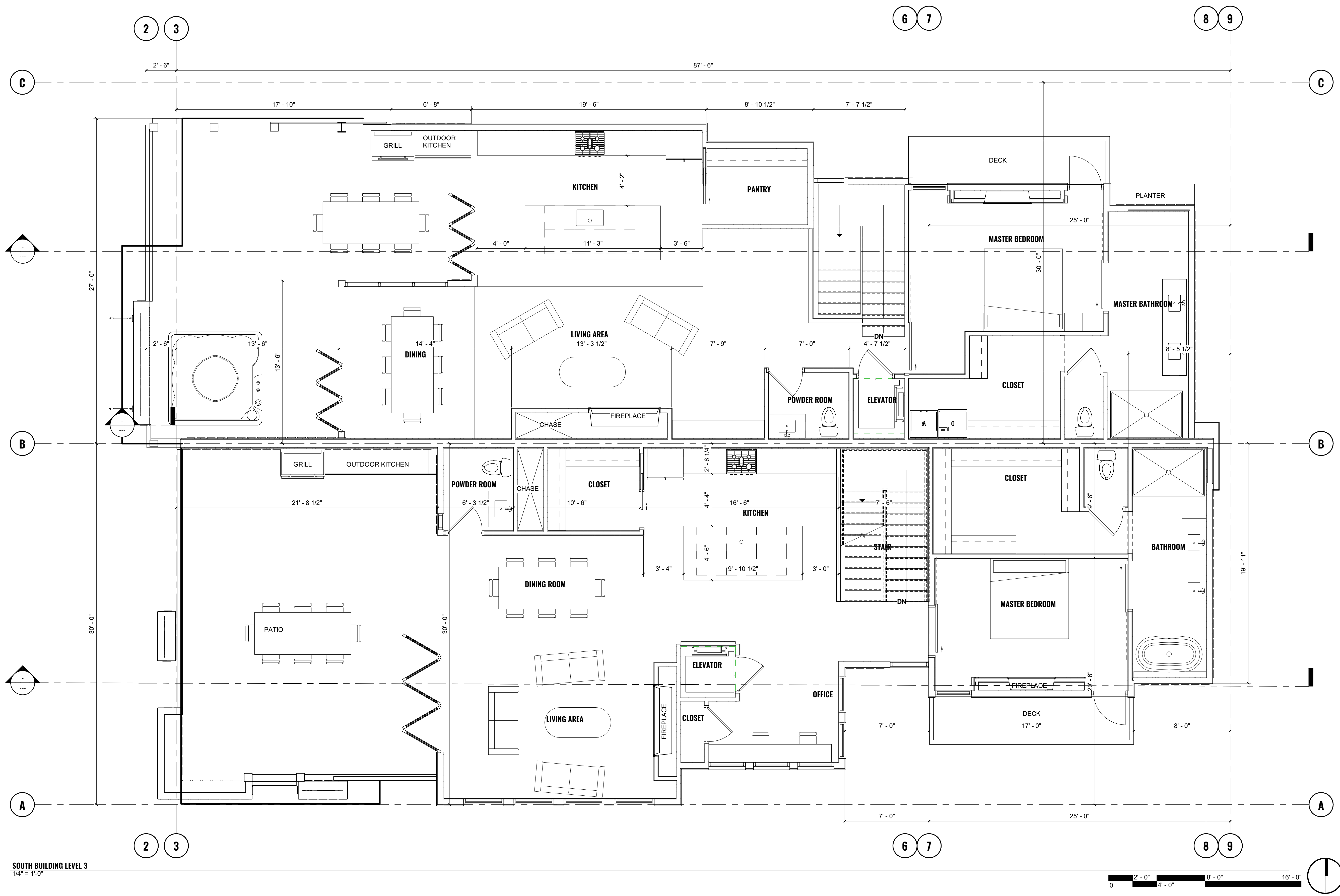
SOUTH BUILDING LEVEL 2
1/4" = 1'-0"

LEVEL 2 KEYPLAN

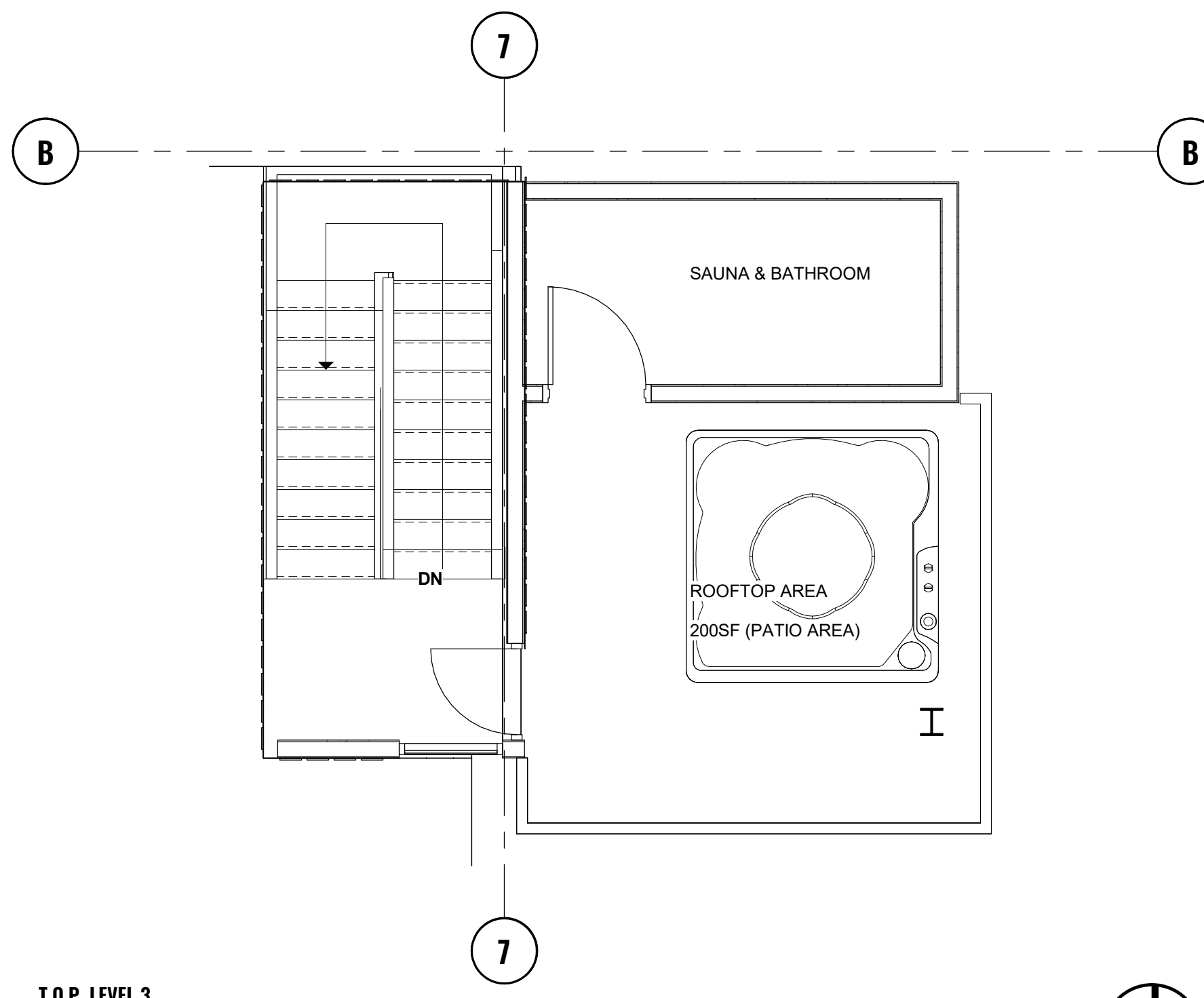
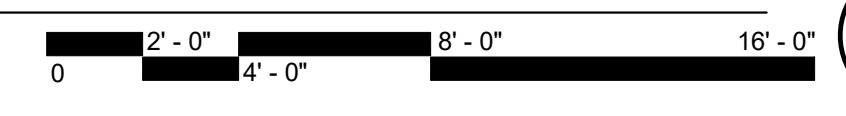


SOUTH FLOOR PLAN GENERAL NOTES

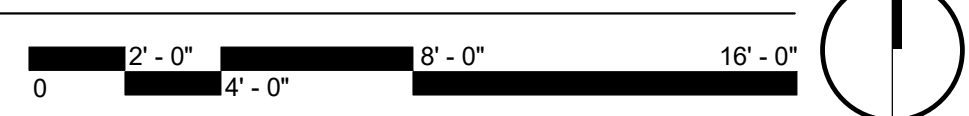
	SQUARE FOOTAGE
RESIDENCE 1 (LEVEL 2)	
ENTRY	81
ENTRY CLOSET	12
OPEN ROOM	204
HALLWAY	173
STAIRS	90
BEDROOM 1	166
CLOSET	17
DECK (SHARED)	79
BEDROOM 2	158
CLOSET	40
BEDROOM SUITE/OFFICE	150
CLOSET	33
BATHROOM	85
LAUNDRY	84
MECHANICAL	53
(LEVEL 3)	
MASTER BEDROOM	192
MASTER BATHROOM	159
MASTER CLOSET	112
MASTER DECK	83
DINING	125
KITCHEN	269
PANTRY/STORAGE	56
POWDER	43
HALL/LANDING	45
OFFICE	84
CLOSET	12
DECK	621
(LEVEL 4)	
SAUNA	90
ROOFTOP PATIO	200
TOTAL	2,620
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	983
GARAGE	490
RESIDENCE 2 (LEVEL 2)	
ENTRY	57
ENTRY CLOSET	6
OPEN ROOM	242
HALLWAY	154
HALL CLOSET	16
STAIRS	90
BEDROOM 1	160
CLOSET	34
DECK	55
BEDROOM 2	144
CLOSET	28
DECK	53
BEDROOM SUITE/OFFICE	188
CLOSET	47
BATHROOM	77
BATHROOM	79
LAUNDRY	104
MECHANICAL	81
(LEVEL 3)	
MASTER BEDROOM	213
MASTER BATHROOM	159
MASTER CLOSET	95
MASTER DECK	83
DINING	141
KITCHEN	248
PANTRY/STORAGE	57
POWDER	40
HALL/LANDING	31
DECK	552
TOTAL	2,578
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	743
GARAGE	490



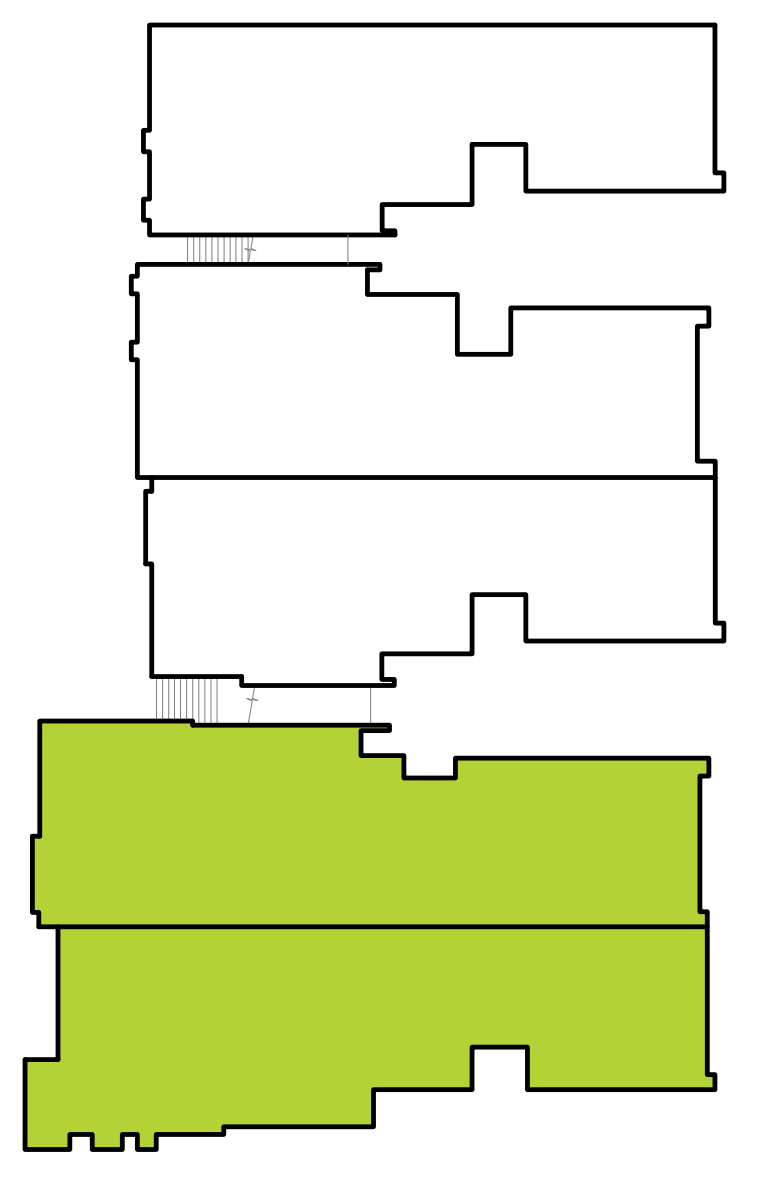
SOUTH BUILDING LEVEL 3
1/4" = 1'-0"



T.O.P. LEVEL 3
1/4" = 1'-0"



LEVEL 2 KEYPLAN



SOUTH FLOOR PLAN GENERAL NOTES

	SQUARE FOOTAGE
RESIDENCE 1	
(LEVEL 2)	
ENTRY	81
ENTRY CLOSET	12
OPEN ROOM	204
HALLWAY	173
STAIRS	90
BEDROOM 1	166
CLOSET	17
DECK (SHARED)	79
BEDROOM 2	158
CLOSET	40
BEDROOM SUITE/ OFFICE	150
CLOSET	33
BATHROOM	85
LAUNDRY	84
MECHANICAL	53
(LEVEL 3)	
MASTER BEDROOM	192
MASTER BATHROOM	159
MASTER CLOSET	112
MASTER DECK	83
DINING	125
KITCHEN	269
PANTRY/STORAGE	56
POWDER	43
HALL/LANDING	45
OFFICE	84
CLOSET	12
DECK	621
(LEVEL 4)	
SAUNA	90
ROOFTOP PATIO	200
TOTAL	2,620
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	983
GARAGE	490
RESIDENCE 2	
(LEVEL 2)	
ENTRY	57
ENTRY CLOSET	8
OPEN ROOM	242
HALLWAY	154
HALL CLOSET	18
STAIRS	90
BEDROOM 1	160
CLOSET	34
DECK	55
BEDROOM 2	144
CLOSET	28
DECK	53
BEDROOM SUITE/ OFFICE	188
CLOSET	47
BATHROOM	77
BATHROOM	79
LAUNDRY	104
MECHANICAL	81
(LEVEL 3)	
MASTER BEDROOM	213
MASTER BATHROOM	159
MASTER CLOSET	95
MASTER DECK	83
DINING	141
KITCHEN	248
PANTRY/STORAGE	57
POWDER	40
HALL/LANDING	31
DECK	552
TOTAL	2,578
<i>(DOES NOT INCLUDE DECK OR GARAGE)</i>	
DECK TOTAL	743
GARAGE	490







KEYNOTE LEGEND	
MARK	DESCRIPTION
1	VERTICAL 8" BOARD SIDING
2	METAL AWNING
3	3'-6" STEEL GUARDRAIL, BLACKENED FLUSH MOUNTED
4	HORIZONTAL LAP SIDING
5	BUILDING SIGNAGE - BACKLITE LETTERS
6	BUILDING SIGNAGE
7	FOLDING GLASS WALL
8	RESIDENTIAL PATIO
9	ELECTRICAL METERS
10	
11	BUILT IN PLANTERS

EXTERIOR ELEVATION MATERIAL NOTES	
	VERTICAL WOOD PLANK SHERWIN WILLIAMS - SW6144 DAPPER TAN
	HORIZONTAL LAP SIDING SHERWIN WILLIAMS - SW6990 CAVIAR
	*METAL DOORS, AWNINGS, RAILINGS & TRIM IN SAME COLOR DIFFERENT SHEEN
	CONCRETE PANEL / CONCRETE

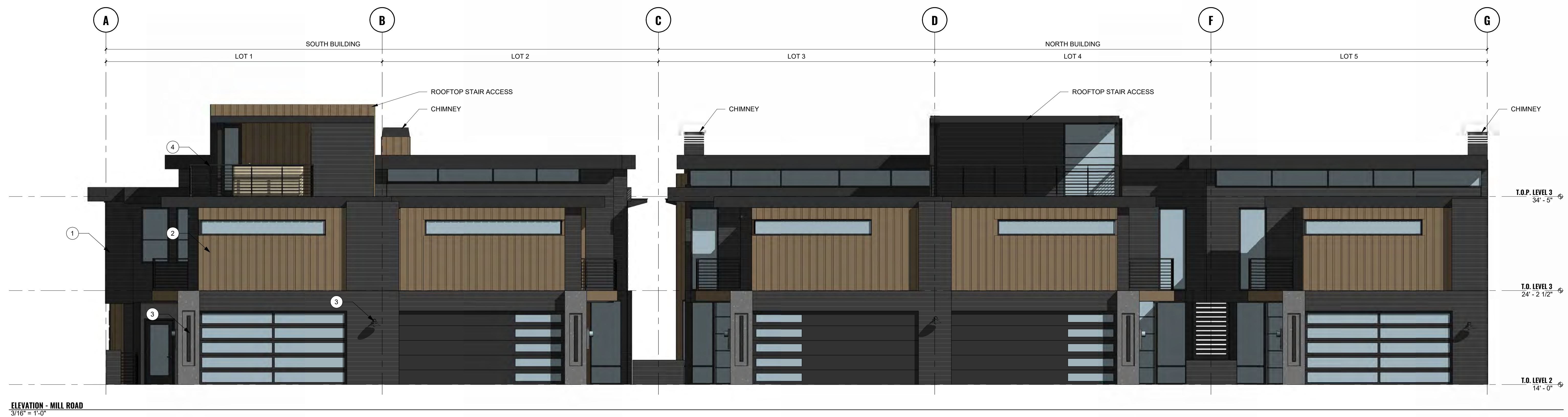


KEYNOTE LEGEND	
MARK	DESCRIPTION
1	VERTICAL 8" BOARD SIDING
2	BUILT IN PLANTERS
3	METAL AWNING
4	FOLDING GLASS WALL
5	RESIDENTIAL PATIO
6	WALL MOUNTED LIGHT FIXTURE
7	3'-0" STEEL GUARDRAIL, BLACKENED FLUSH MOUNTED
8	HORIZONTAL LAP SIDING

EXTERIOR ELEVATION MATERIAL NOTES

-  VERTICAL WOOD PLANK
SHERWIN WILLIAMS - SW6144 DAPPER TAN
-  HORIZONTAL LAP SIDING
SHERWIN WILLIAMS - SW6990 CAVIAR
-  *METAL DOORS, AWNINGS,
RAILINGS & TRIM IN SAME
COLOR DIFFERENT SHEEN
-  CONCRETE PANEL / CONCRETE



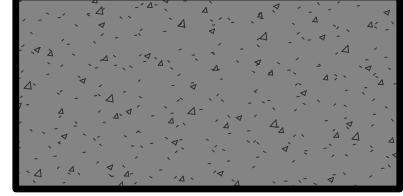

ELEVATION - LAKE STREET
3/16" = 1'-0"



ELEVATION - MILL ROAD
3/16" = 1'-0"

KEYNOTE LEGEND	
MARK	DESCRIPTION
1	HORIZONTAL LAP SIDING
2	VERTICAL 8" BOARD SIDING
3	WALL MOUNTED LIGHT FIXTURE
4	3'-6" STEEL GUARDRAIL, BLACKENED FLUSH MOUNTED

EXTERIOR ELEVATION MATERIAL NOTES

-  VERTICAL WOOD PLANK
SHERWIN WILLIAMS -
SW6144 DAPPER TAN
-  HORIZONTAL LAP SIDING
SHERWIN WILLIAMS -
SW6990 CAVIAR
-  *METAL DOORS, AWNINGS,
RAILINGS & TRIM IN SAME
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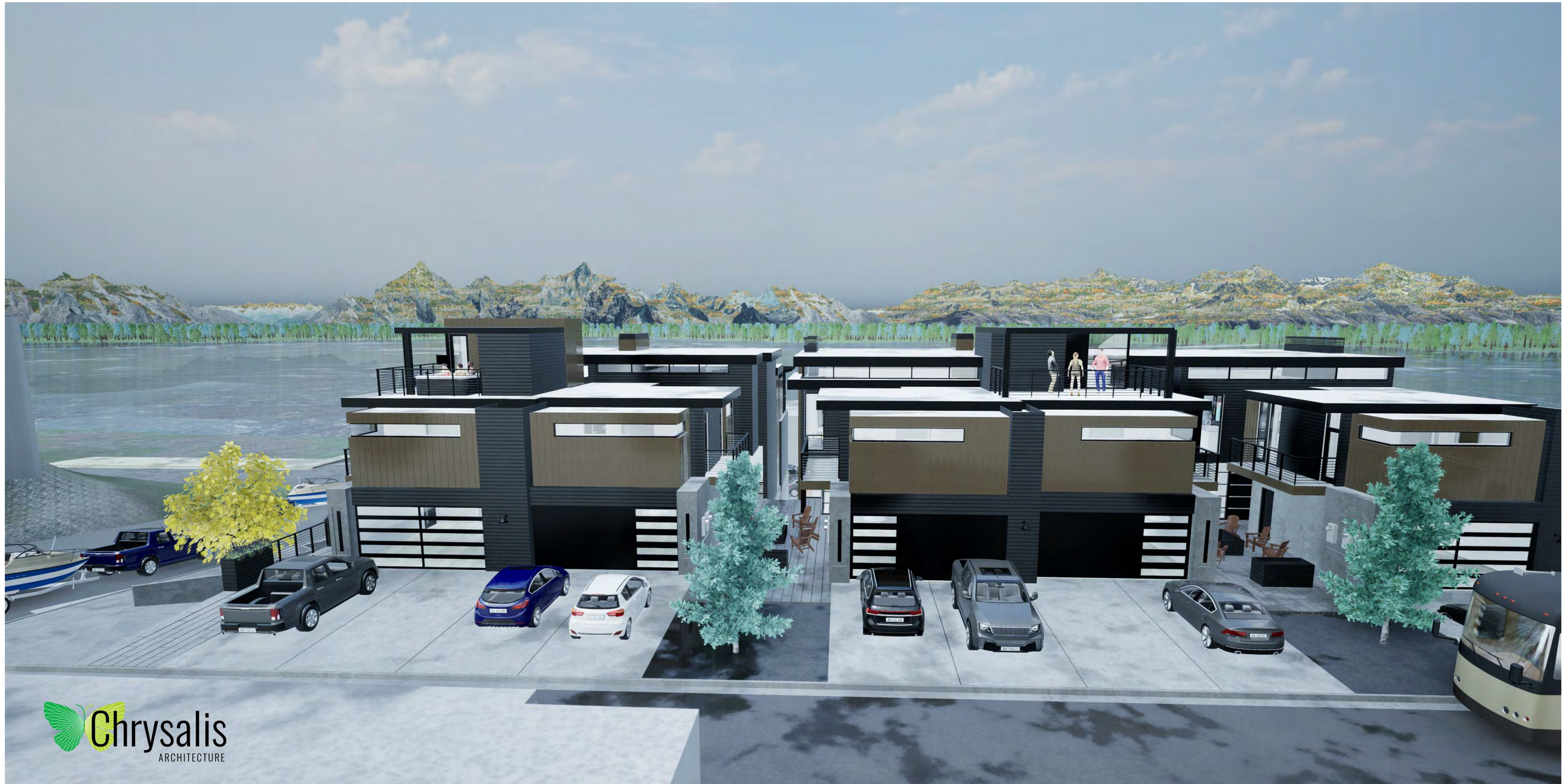
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