

# ODMARK RESIDENCE ADDITION & RENOVATION

143 E. LAKE STREET  
MCCALL, IDAHO 83638

**SCOPE OF WORK:** THIS PROJECT PROPOSES A 704 SF ADDITION AND 169 SF REMODEL ON THE MAIN LEVEL AND A 688 ADDITION TO THE LOWER LEVEL. ALSO CASEWORK ADDITIONS TO (E) KITCHEN ON MAIN LEVEL.

**APPLICATION:** BUILDING PERMIT

**PROJECT INFORMATION:**  
APN: RPM00000095540

**LEGAL DESCRIPTION:** MCCALL ACREAGE, TAX NO. 159-A IN GOVT. LOT 4, S9 T18N R3E 539800 MCCALL RES. BY LAND GRADE 541 RES IMPR ON CAT 20

**ZONE:** (R4) - LOW DENSITY RESIDENTIAL: MAXIMUM DENSITY OF FOUR (4) DWELLING UNITS PER ACRE

**OCCUPANCY:** SINGLE FAMILY RESIDENTIAL

**OVERLAYS:** SHORELINE AND RIVER ENVIRONS ZONE

**YEAR OF ORIGINAL CONSTRUCTION:** 2009

**USE:** SINGLE FAMILY RESIDENTIAL

**CONSTRUCTION TYPE:** V-A  
**FIRE SPRINKLERS:** N/A

**LOT AREA:** 13,182 SF

**ALLOWABLE HEIGHT:** 35'  
**PROPOSED HEIGHT:** 21' 11 1/4"

**ALLOWABLE SETBACKS:**  
FRONT: 25'  
REAR: 5'  
SIDE: 10'  
TOTAL SIDE: 63.04' x .08 = 5.04' x 2 = 10.09'

**CALCULATIONS:**  
**EXISTING BUILDING SQUARE FOOTAGE:**  
LOWER LEVEL: 1,503 SF  
FIRST FLOOR: 1,980 SF  
UPPER FLOOR: 1,122 SF  
GARAGE: 660 SF  
TOTAL: 5,265 SF

**PROPOSED BUILDING SQUARE FOOTAGE:**  
(E) LOWER FLOOR: 1,503 SF  
(N) LOWER FLOOR: 688 SF  
(E) FIRST FLOOR: 1,980 SF  
(N) FIRST FLOOR: 704 SF  
(E) UPPER FLOOR: 1,122 SF

**TOTAL HABITABLE:** 5,997 SF

(E) GARAGE: 660 SF  
**TOTAL:** 6,658 SF

**LOT COVERAGE:**  
**EXISTING:**  
HOUSE: 1477 SF @ 100% = 1,477  
GARAGE: 660 SF @ 100% = 660 SF  
DECK: 1050 SF @ 50% = 525 SF  
DRIVE: 1,600 SF @ 35% = 560 SF

**EXISTING LOT COVERAGE** = 3,222 SF / 13,182 SF = 25%

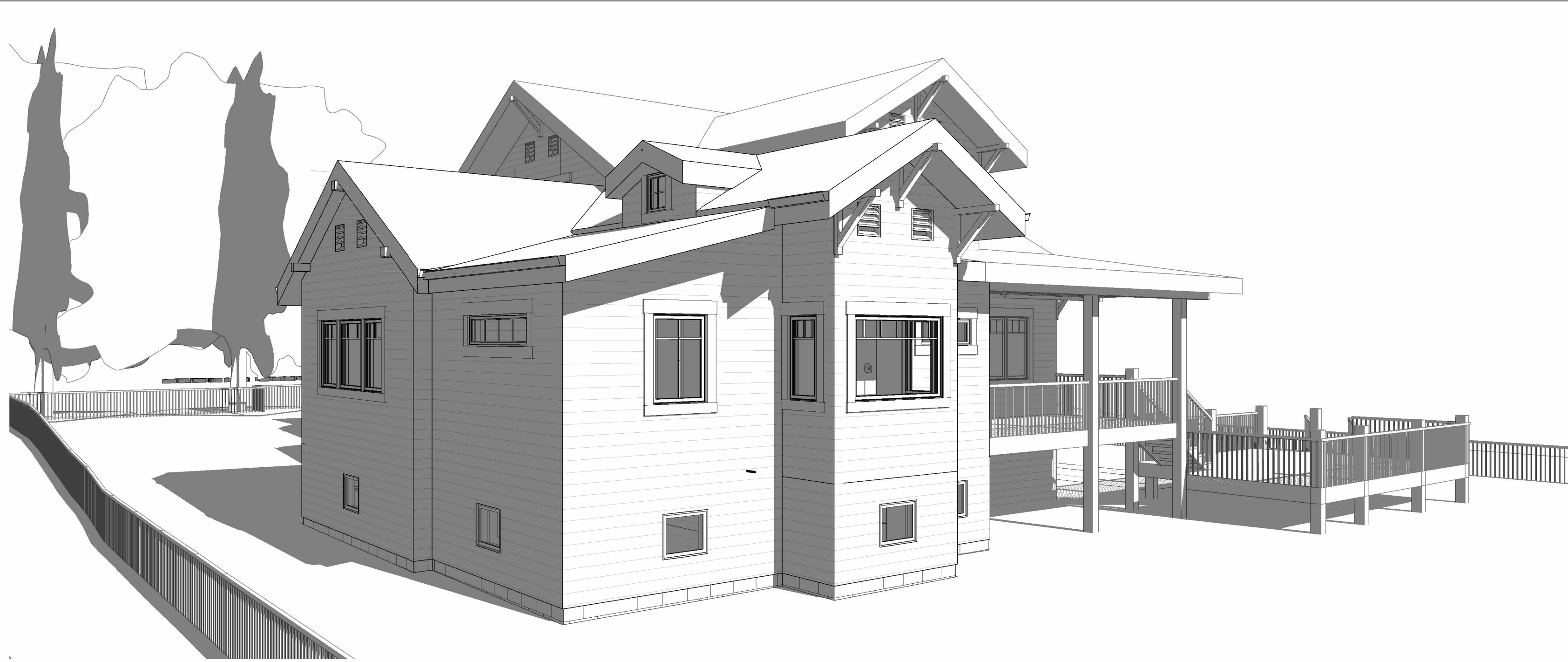
**DEMO:**  
HOUSE: 0  
GARAGE: 0  
DECK: -158 SF @ 50% = -79 SF  
DRIVE: -400 SF @ 35% = -140 SF

**PROPOSED:**  
HOUSE: 704 @ 100% = 688 SF  
GARAGE: 0  
DECK: 0  
DRIVE: 0

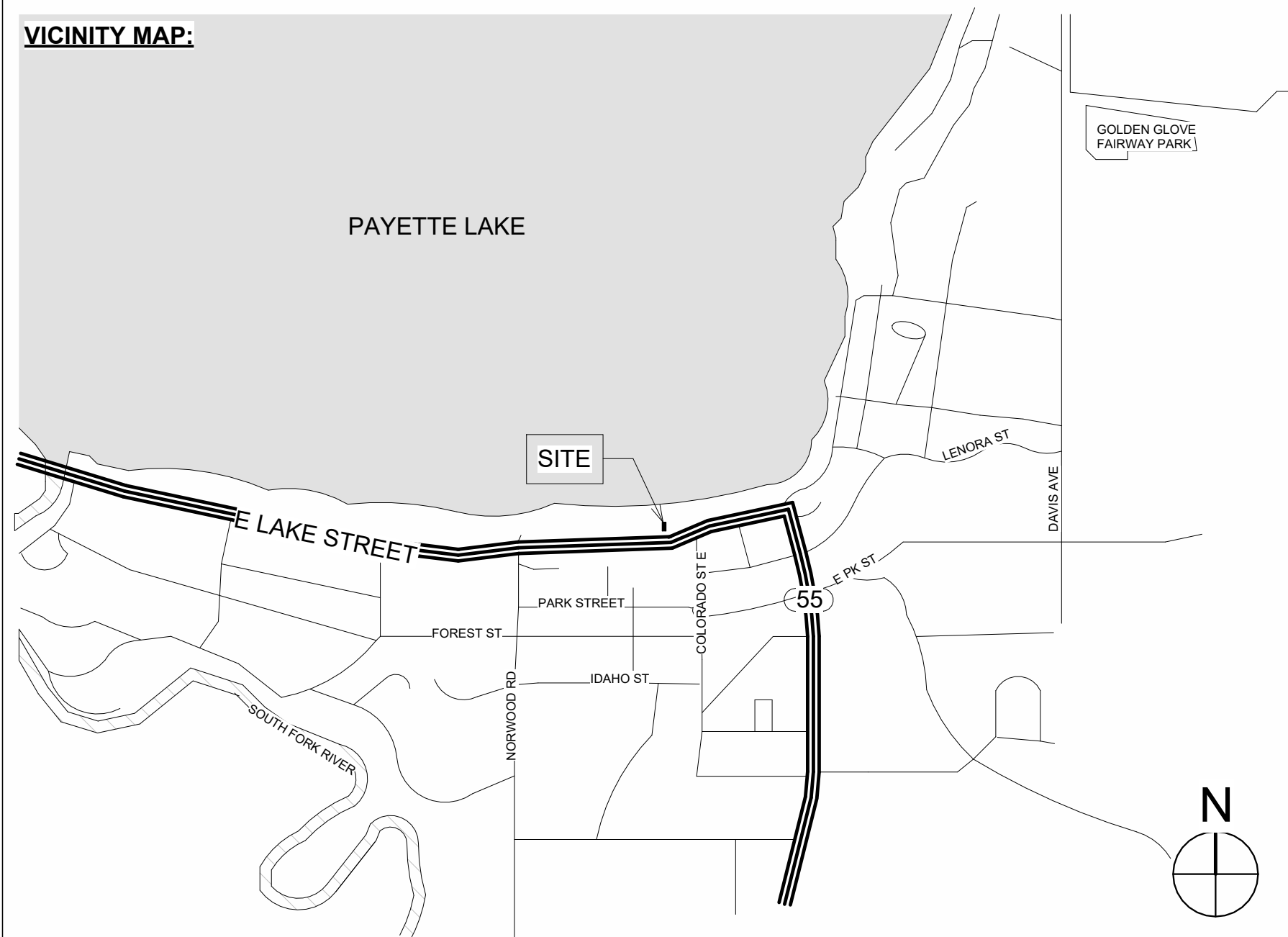
**TOTAL ALLOWABLE LOT COVERAGE** = 13,182 x .28 = 3,691 SF  
**PROPOSED LOT COVERAGE** = 3,691 SF / 13,182 SF = 28%

**APPLICABLE CODES:**  
2018 INTERNATIONAL BUILDING CODE, 2020 INTERNATIONAL RESIDENTIAL CODE, 2020 INTERNATIONAL ENERGY CONSERVATION CODE, 2018 INTERNATIONAL MECHANICAL CODE, 2017 NATIONAL ELECTRICAL CODE, 2017 IDAHO STATE PLUMBING CODE, 2018 INTERNATIONAL FUEL GAS CODE, 2018 INTERNATIONAL FIRE CODE.

**RELATED APPROVALS:**  
NONE



**VICINITY MAP:**



**PROJECT TEAM:**  
OWNER: DAVID & KAREN ODMARK  
T: 858.945.5430  
E: dave.odmark@cushwake.com

**ARCHITECT:**  
HLLK ARCHITECTS  
5727 LA JOLLA BLVD  
LA JOLLA, CA 92037  
T: 858.255.1561  
hilary@HLLKarchitects.com

**STRUCTURAL:**  
CURTIS PATTERSON  
PATTERSON ENGINEERING  
928 FORT STOCKTON DRIVE,  
SUITE 201  
SAN DIEGO, CA 92103  
T: 858.605.0937  
curtis@pattersoneng.com

**SHEET LIST:**

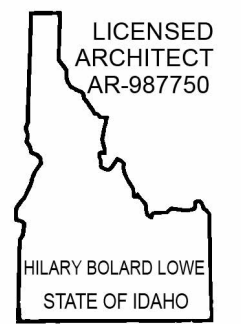
- A000 TITLE SHEET
- A001 TOPOGRAPHIC SURVEY
- A002 GENERAL NOTES
- A006 STORMWATER CONCEPT
- A007 EXTERIOR LIGHTING PLAN
- A100 SITE PLAN
- A200 FIRST FLOOR DEMO PLAN
- A300 PROPOSED LOWER LEVEL PLAN
- A400 PROPOSED FIRST FLOOR PLAN
- A401 FIRST FLOOR DIMENSIONS
- A500 ROOF PLAN
- A600 ELEVATIONS
- A601 ELEVATIONS
- A900 SITE PHOTOS

**GENERAL NOTES:**

1. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY DETAIL OF CONSTRUCTION. IT SHALL BE THE BUILDERS RESPONSIBILITY TO CHECK, VERIFY, AND COORDINATE ALL DIMENSIONS, DETAILS, NOTES, AND ALL PHASES AND THE TRADES REQUIRED TO COMPLETE THIS PROJECT. ALL FINISH, FIXTURE, AND EQUIPMENT SELECTIONS SHALL BE VERIFIED WITH THE OWNER OR HIS AUTHORIZED AGENT.
2. ALL WORK IS TO BE PERFORMED IN A FIRST-CLASS WORKMANSHIP LIKE MANNER.
3. FIGURED DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR ERECTION OF ANY PORTION OF THIS PROJECT.
4. IF ANY ERRORS, OMISSIONS, OR CONTRADICTIONS APPEAR IN THESE CONSTRUCTION WORKING DRAWINGS, SPECIFICATIONS OR OTHER CONSTRUCTION DOCUMENTS: THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. NO WORK SHALL CONTINUE UNTIL SUCH TIME AS THE ERROR, OMISSION, OR CONTRADICTION HAS BEEN RESOLVED. GIVING SAID NOTICE TO THE ARCHITECT DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CHECK, VERIFY, AND COORDINATE THE DIMENSIONS OR ANY OTHER PORTION OF THE CONSTRUCTION DOCUMENTS, OR FOR THE COST OF THE SAME.
5. CONSTRUCTION OF THIS BUILDING MUST COMPLY WITH ALL THE REQUIREMENTS AND CONSTRUCTION PRACTICES AS SET FORTH IN THE "CALIFORNIA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION", LATEST EDITION.
6. CONTRACTORS ARE INSTRUCTED TO ADJUST, VERIFY, AND COORDINATE AND INFORMATION NOTED HEREIN AS "TYPICAL".
7. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL CODES, REGULATIONS AND RESTRICTIONS HAVING JURISDICTION OVER THIS PROJECT. THE BUILDER SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH THE APPLICABLE CODES, REGULATIONS, AND RESTRICTIONS AND THEIR RELEVANCE TO THE PROJECT.
8. GYPSUM WALLBOARD SHALL COMPLY WITH THE PROVISIONS OF THE "SPECIFICATIONS FOR GYPSUM WALLBOARD", ASTM #C-36. GYPSUM WALLBOARD SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH THE PROVISIONS OF THE "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD", GYPSUM ASSOCIATION SPECIFICATION #GA-216.



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DESIGN REVIEW  
02/20/2024

| No. | Description | Date |
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**TITLE SHEET**

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**1" = 1'-0"**

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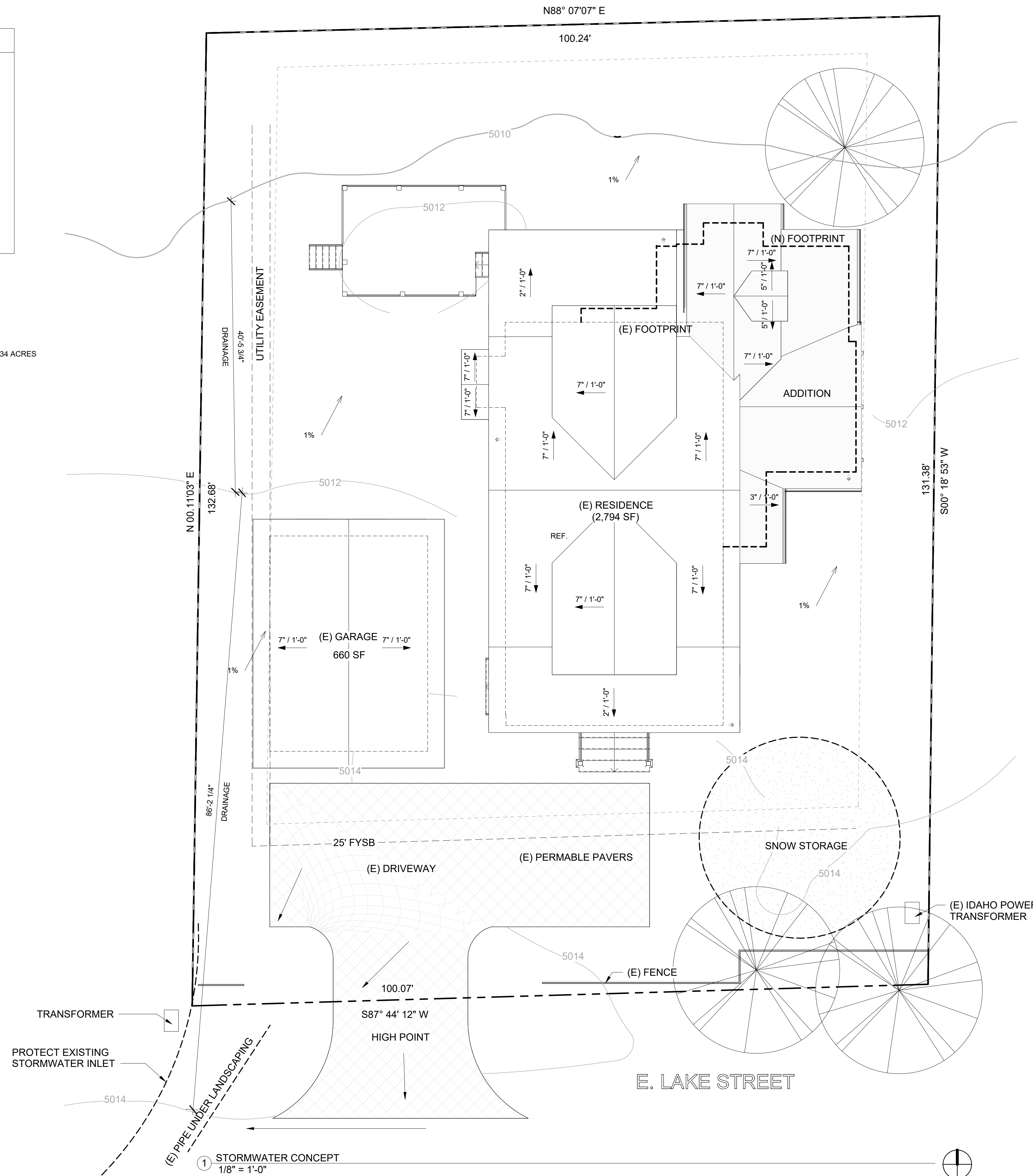
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| IMPERVIOUS SURFACE |          |
|--------------------|----------|
| EXISTING:          |          |
| HOUSE:             | 1,789 SF |
| GARAGE:            | 924 SF   |
| REAR DECK:         | 649 SF   |
| SIDE DECK:         | 154 SF   |
| PORCH:             | 394 SF   |
| DEMO:              |          |
| HOUSE:             | 0        |
| GARAGE:            | 0        |
| DECK:              | 154 SF   |
| DRIVE:             | 0        |
| PROPOSED:          |          |
| HOUSE:             | 765 SF   |
| GARAGE:            | 0        |
| DECK:              | 0        |
| DRIVE:             | 0        |

TOTAL : 4,521 SF / 0.108 ACRES / 36%

PROJECT SITE:  
 A. TOTAL SITE AREA = 0.302 ACRES  
 B. DEVELOPMENT AREA = 0.016 ACRES  
 C. DEVELOPMENT DENSITY = 1 HOUSING UNIT  
 D. STREETS, SIDEWALKS, AND DRIVEWAYS = 0.034 ACRES  
 E. ROOF AREA = 0.0948 ACRES  
 F. TOTAL IMPERVIOUS AREA = 0.108 ACRES

EROSION AND SEDIMENT CONTROL



### LEGEND

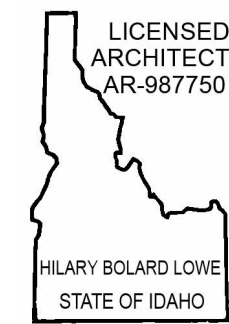
- AREA OF WORK / FOOTPRINT OF ADDITION
- BUILDING FOOTPRINT NOT IN SCOPE
- HARDSCAPING/IMPERVIOUS SURFACE
- LANDSCAPE
- PERMABLE PAVERS
- SNOW STORAGE
- PROPERTY LINE
- SETBACK LINE
- (E) ROOF LINE
- (N) ROOF LINE
- DRAINAGE PATTERN
- DOWNSPOUT

### NOTES

1. THERE ARE NO SITE WALLS OR FENCES PROPOSED AND SHALL NOT BE INCLUDED IN THIS PERMIT.
2. THERE ARE NO NEW SITE RETAINING WALLS PROPOSED.
3. THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS.
4. SETBACKS AT EXISTING BUILDING LOCATION ARE AS DETERMINED BY SURVEY & UNVERIFIED. SETBACKS AT PROPOSED CONSTRUCTION ARE MINIMUM DISTANCE TO PROPERTY LINE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ADHERE TO THOSE MINIMUM SETBACKS.
5. ALL STREET IMPROVEMENTS ARE EXISTING AND TO REMAIN AS IS. EXISTING CURB CUT AND CONCRETE APRON TO REMAIN TO SERVICE FOR EXISTING OFF-STREET PARKING.
6. VERIFY ALL GRADES AND CONDITIONS IN FIELD PRIOR TO STARTING WORK. NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES.
7. LOT TO DRAIN TO APPROVED DRAINAGE FACILITY. NO CONCENTRATED DRAINAGE FLOW ACROSS PROPERTY LINE. SURFACE WATER SHALL DRAIN AWAY FROM THE BUILDING - 6" WITHIN THE FIRST 10 FEET.
8. ALL DOWNSPOUTS SHALL DRAIN TO LANDSCAPE AREAS.
9. VERIFY EXISTING UTILITY LOCATIONS AND NEW ELECTRIC AND GAS METER LOCATIONS BEFORE START OF CONSTRUCTION. ALL OVERHEAD UTILITIES SERVING THE SITE ARE TO BE VERIFIED AND ADJUSTED AS NECESSARY FOR THE PROPOSED ADDITION. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
10. NO WORK SHALL BE PERFORMED IN UTILITY EASEMENT.



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Drawing Title:  
**STORMWATER CONCEPT**

Scale:  
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Sheet Number:  
**A006**

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**Alameda™ Light Wall Light Canyon View™** 9649CV

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**SPECIFICATIONS**

Certifications/Qualifications: [www.kichler.com/herecans](http://www.kichler.com/herecans)

Dimensions: 4.50" DIA.  
 Base Backplate: 6.50"  
 Extension: 2.00 LBS  
 Weight: 2.00 LBS  
 Height from center of wall opening (Clearance): 4.00"  
 Height (Clearance): 7.00"  
 Width: 5.00"

Electrical: Supply Wire (Degrees): 75

Light Source: Dimmable: Yes  
 Lamp Included: Not Included  
 Lamp Type: A19  
 Light Output: Non-dimmable  
 Max or Nominal Watt: 75.00  
 # of Bulb/LED Module: 1  
 Socket Type: Medium  
 Socket Wire: 100"

Mounting/Installation: Interior/Exterior: Exterior  
 Location Rating: Wet  
 Mounting Style: Wall Mount

**FIGURE ATTRIBUTES**

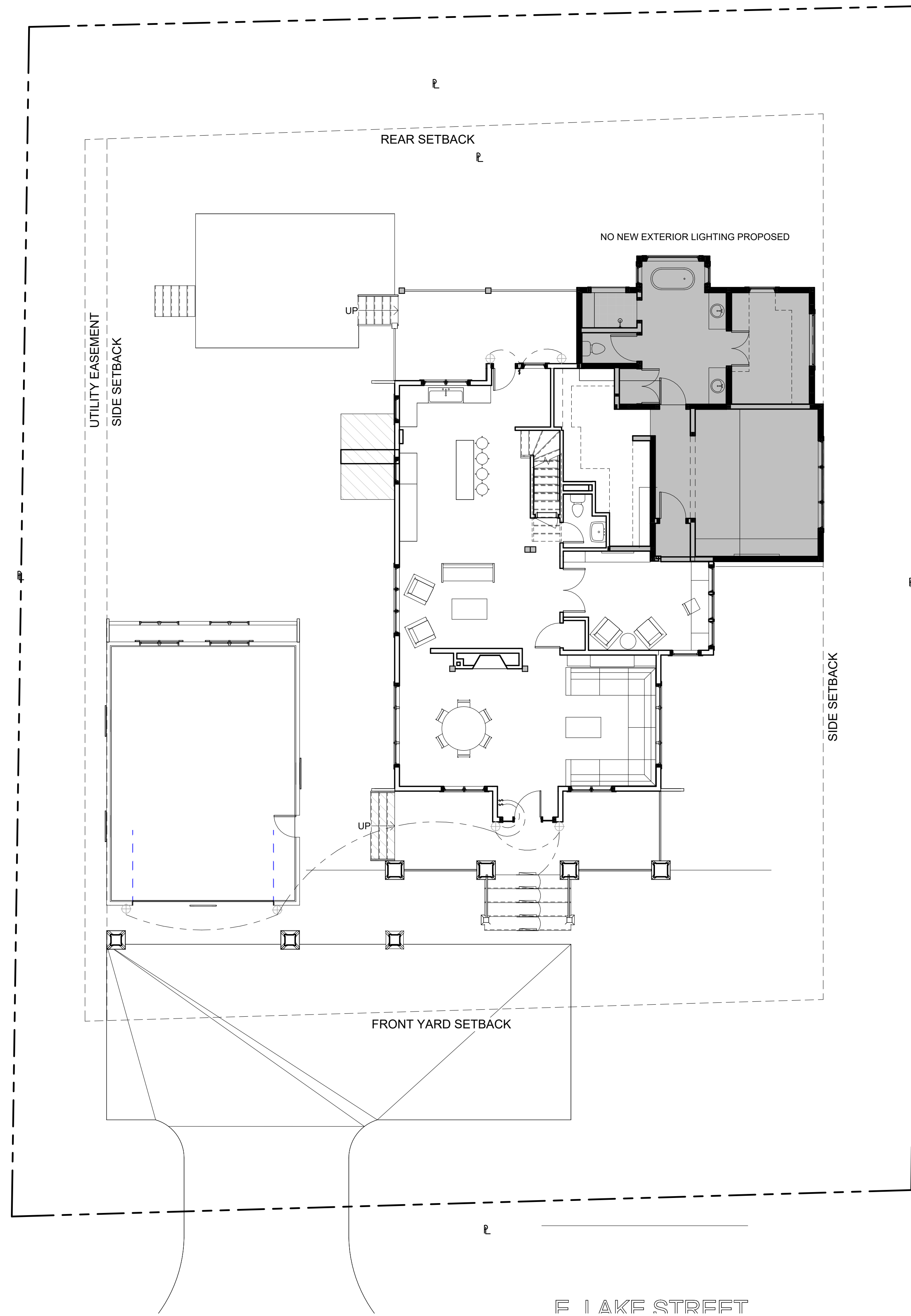
Finishing: Diffuser Description: Honey Opalescent  
 Primary Material: Stone

Product/Ordering Information: SKU: 9649CV  
 Finish: Canyon View  
 Style: Area and Ceiling Mission  
 UPC: 78327178341

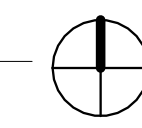
Finish Options: Canyon View




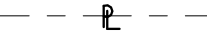





**ALSO IN THIS FAMILY**

1 EXT. LIGHTING PLAN  
 1/8" = 1'-0"



**LEGEND**

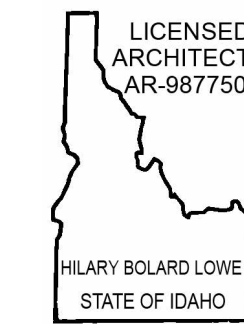
-  AREA OF WORK / FOOTPRINT OF ADDITION
-  PROPERTY LINE
-  SETBACK LINE
-  (E) ELECTRICAL PATH
-  (E) EXTERIOR LIGHT FIXTURE
-  (E) RECESSED STEP LIGHT
-  (E) SWITCH

**NOTES**

1. NO OBSTRUCTIONS INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT ARE LOCATED WITHIN VISIBILITY AREA SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
2. THERE ARE NO SITE WALLS OR FENCES PROPOSED AND SHALL NOT BE INCLUDED IN THIS PERMIT.
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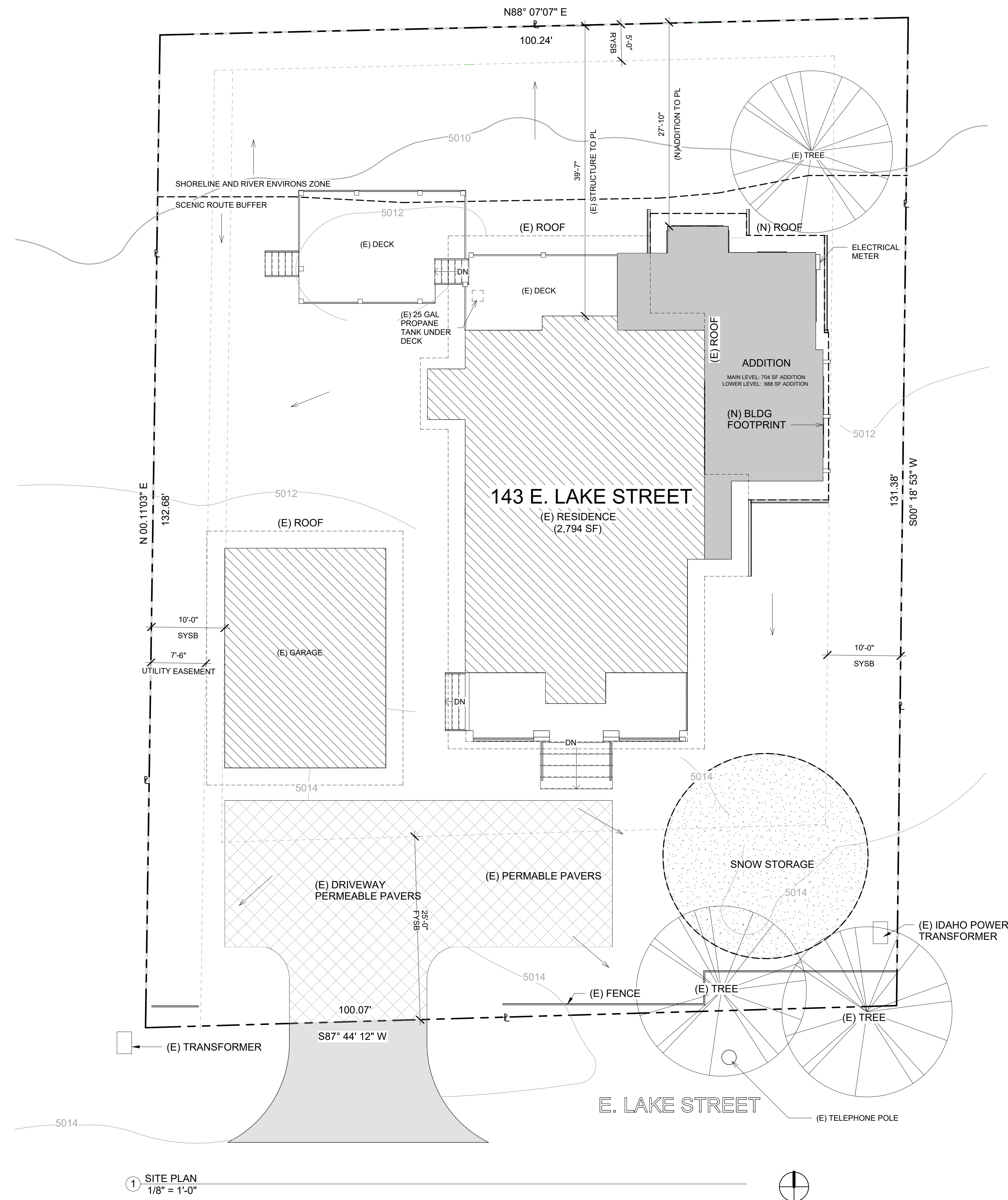
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Drawing Title:  
**EXTERIOR LIGHTING PLAN**

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Sheet Number:  
**A007**

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1 SITE PLAN  
 1/8" = 1'-0"

### LEGEND

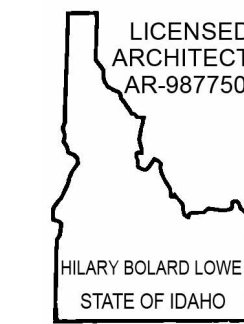
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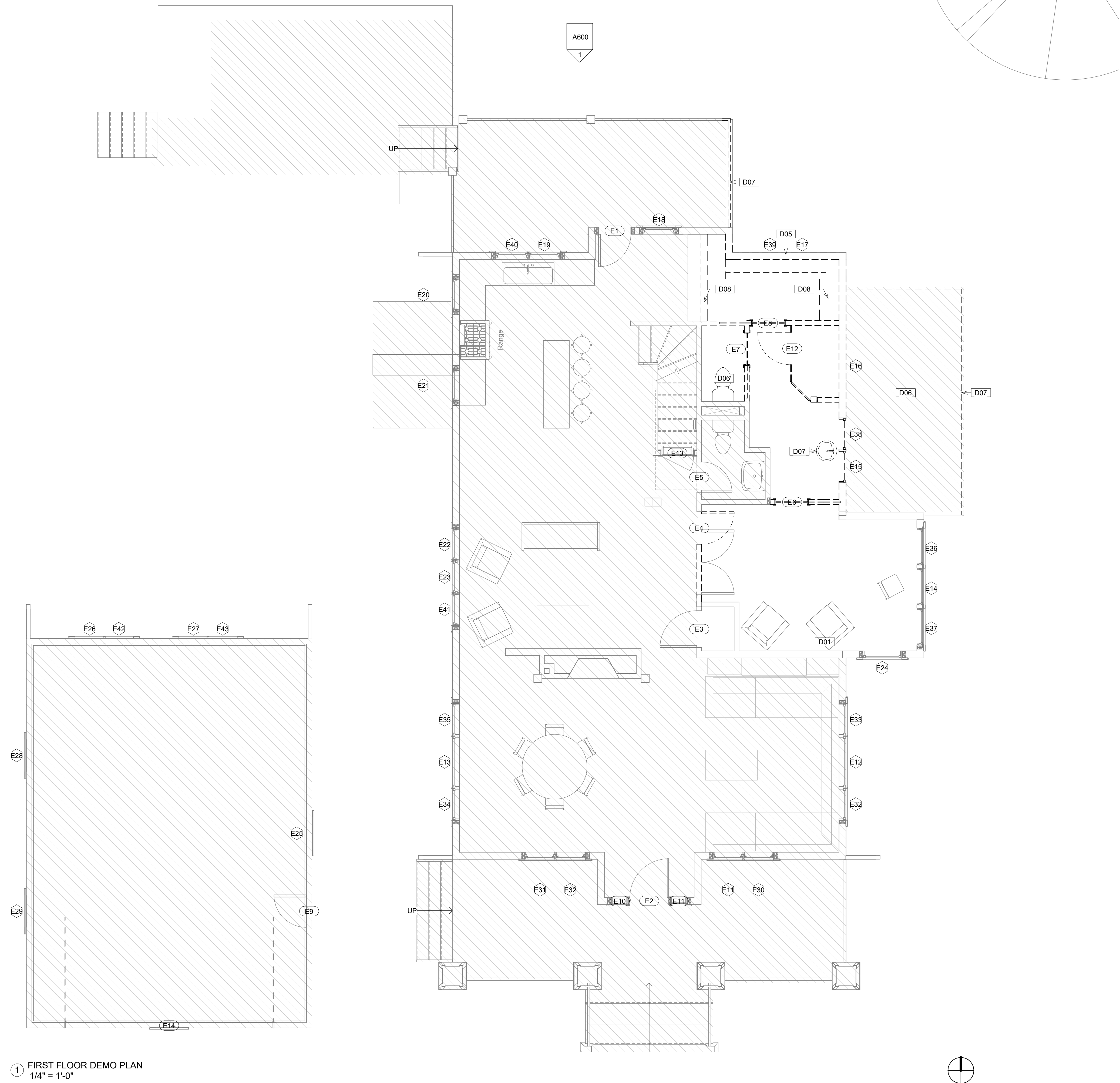
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Drawing Title:  
**SITE PLAN**

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**1** FIRST FLOOR DEMO PLAN  
 1/4" = 1'-0"

### LEGEND

- EXISTING TO BE DEMOLISHED
- NOT IN SCOPE
- 11 WINDOW TAG, REFER TO SCHEDULE
- 101 DOOR TAG, REFER TO SCHEDULE

### KEYNOTES

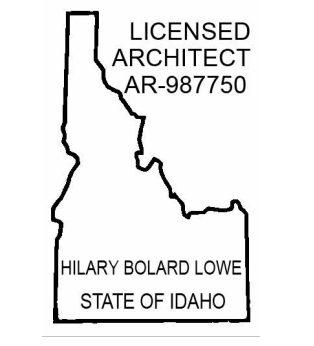
|     |  |
|-----|--|
| D01 | DEMO (E) FINISH, WOOD FRAMING TO REMAIN AS IS. |
| D05 | DEMO (E) WINDOW AND PORTION OF WALL            |
| D06 | DEMO (E) DECK                                  |
| D07 | DEMO (E) RAILING                               |
| D08 | DEMO (E) CABINETRY                             |

### NOTES

1. THE CONTRACTOR SHALL VERIFY AND ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION. INCLUDING BUT NOT LIMITED TO INVESTIGATION OF EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
2. CONTRACTOR TO VERIFY FIELD CONDITIONS WITH ARCHITECTURE AND STRUCTURAL PLANS AND SPECIFICATIONS.
3. VERIFY IN FIELD WITH ARCHITECT WALLS AND STRUCTURAL ELEMENTS TO BE REMOVED.
4. THE OWNER SHALL REMOVE OR IDENTIFY ITEMS THAT THEY WILL RETAIN PRIOR TO THE START OF DEMOLITION. THE REMAINING ITEMS DEMOLISHED BECOME THE PROPERTY OF THE CONTRACTOR AND MUST BE DISPOSED OF PROPERLY OFF-SITE.
5. CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS.
6. REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW CONSTRUCTION. PROTECT IN PLACE ALL EXISTING LANDSCAPE/HARDSCAPE TO REMAIN.
7. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS TO BE DEMOLISHED. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. CAP OFF OR TIE OFF TO INSURE THE SAFETY OF INDIVIDUALS IN THIS AREA. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
8. THE CONTRACTOR SHALL PROTECT OCCUPIED AREA FROM DUST AND DEBRIS. MAINTAIN BUILDING SYSTEMS NECESSARY TO SUPPORT OCCUPIED AREAS.
9. PROTECT IN PLACE ALL EXISTING TO REMAIN. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL EXISTING WORK, FURNISHINGS, AND FIXTURES / APPLIANCES THAT ARE TO BE RETAINED TO PREVENT DAMAGE.
10. PATCH ALL FINISHES TO MATCH EXISTING. VERIFY MATCH WITH OWNER AND/OR ARCHITECT.
11. ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.



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**ODMARK RESIDENCE**  
 143 E. LAKE STREET  
 MCCALL, IDAHO

DESIGN REVIEW  
 02/20/2024

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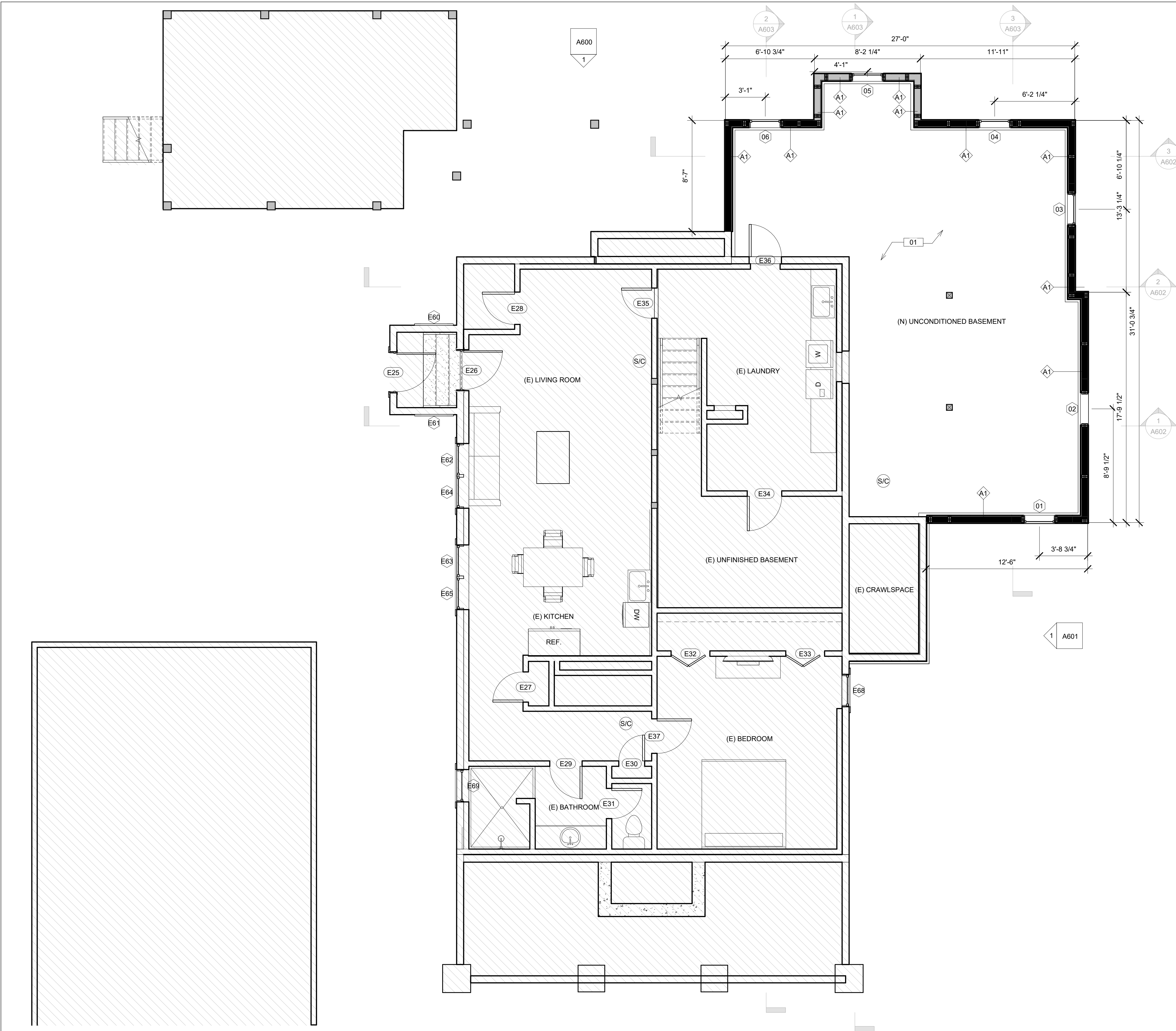
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**FIRST FLOOR DEMO PLAN**

Scale:  
**1/4" = 1'-0"**

Sheet Number:

A200

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### LEGEND

- EXISTING TO REMAIN
- NEW SHEAR WALL, REFER TO STRUCTURAL
- NEW WALL
- NOT IN SCOPE
- PROPERTY LINE
- WINDOW TAG, REFER TO SCHEDULE
- DOOR TAG, REFER TO SCHEDULE
- WALL TAG, REFER TO SCHEDULE
- SMOKE DETECTOR/CO ALARM

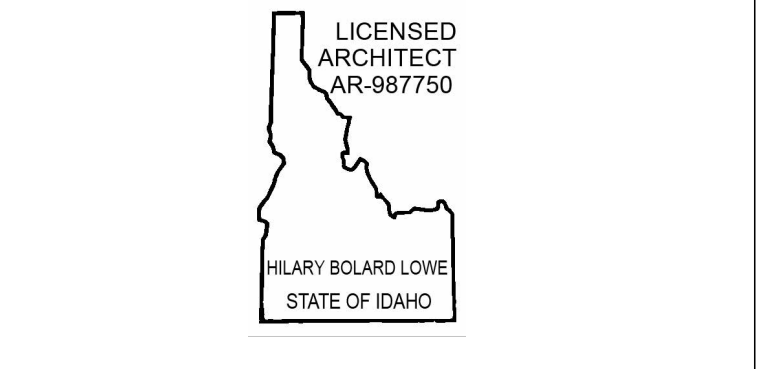
### KEYNOTES

|    |                         |
|----|-------------------------|
| 01 | (N) SLAB PER STRUCTURAL |
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- ### NOTES
1. ALL DISCREPANCIES IN DIMENSIONS SHALL BE REPORTED TO THE ARCHITECT. ALL CHANGES / CLARIFICATIONS SHALL BE MADE BY THE ARCHITECT'S REPRESENTATIVE.
  2. FIRE SPRINKLERS ARE NOT REQUIRED FOR THIS PROJECT.
  3. ALL FIRE & CARBON MONOXIDE ALARMS TO BE ON A DEDICATED CIRCUIT.
  4. ALL ROOFING TO BE 'CLASS A'.
  6. EXHAUST DUCTS AND DRYER VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
  7. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING
  8. PROVIDE R-20 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION @ (N) WALLS, R-30 INSULATION @ (N) CRAWLSPACE & (N) FLOORS, R-19 CAVITY INSULATION @ BASEMENT WALLS, & R-49 INSULATION @ (N) ROOFS PER IECC.
  9. INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH A SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MIN. INDOOR TEMPERATURE OF 66 DEGREES F.
  10. VENTILATION FANS TO PROVIDE A MINIMUM OF 50 CFMS.



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Drawing Title:  
**PROPOSED LOWER LEVEL PLAN**

Scale:  
**1/4" = 1'-0"**

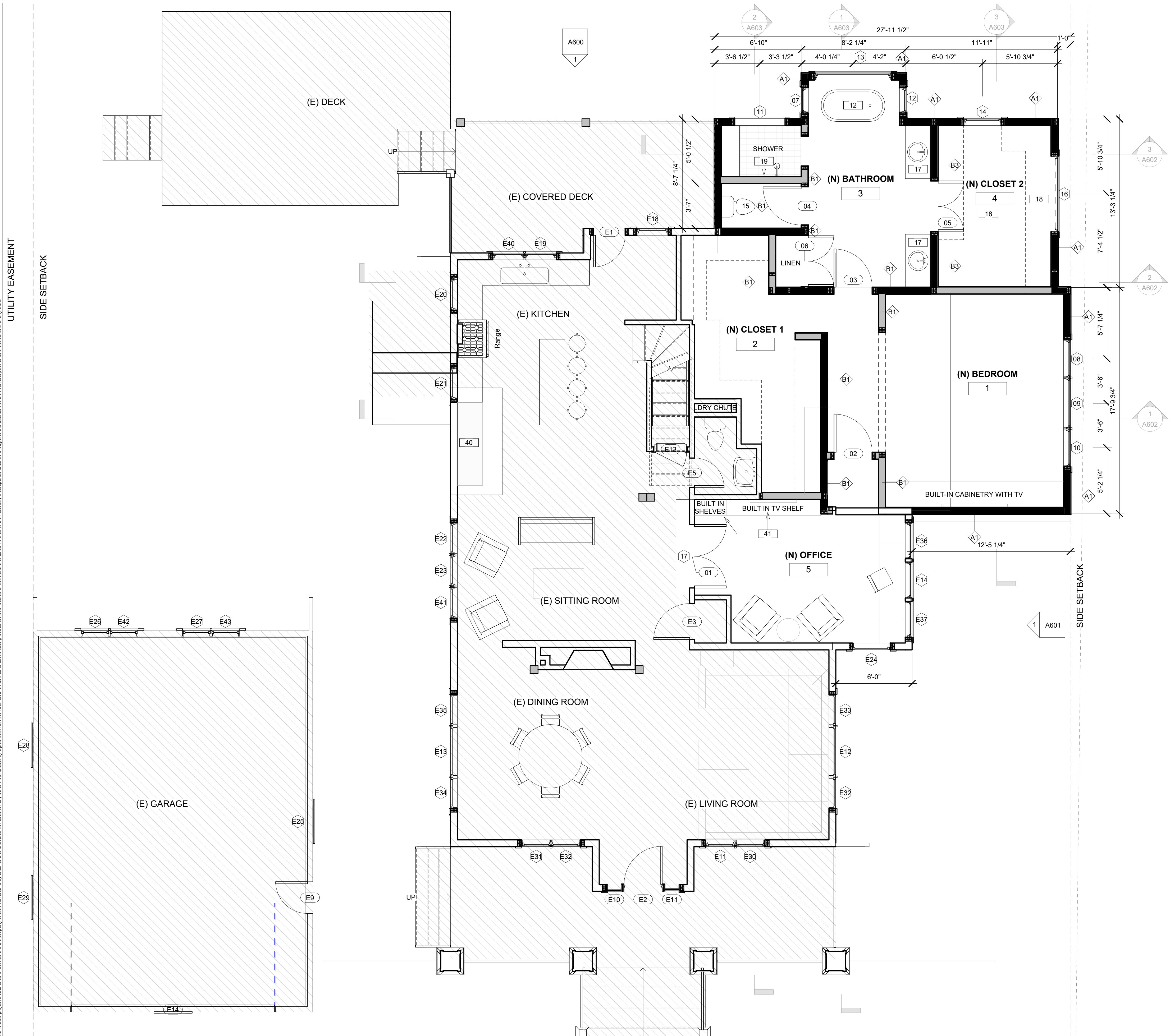
Sheet Number:  
**A300**

**1** PROPOSED LOWER LEVEL PLAN  
 1/4" = 1'-0"

UTILITY EASEMENT

SIDE SETBACK

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**LEGEND**

- EXISTING TO REMAIN
- NEW SHEAR WALL, REFER TO STRUCTURAL
- NEW WALL
- NOT IN SCOPE
- - - - - PROPERTY LINE
- ⬠ (11) WINDOW TAG, REFER TO SCHEDULE
- ⬠ (101) DOOR TAG, REFER TO SCHEDULE
- ⬠ (A1) WALL TAG, REFER TO SCHEDULE
- ⊙ (S/C) SMOKE DETECTOR/CO ALARM

**KEYNOTES**

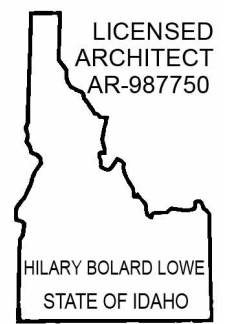
|    |   |
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| 12 | (N) FREE-STANDING BATH TUB                                    |
| 15 | (N) NEW TOILET TBD  |
| 17 | (N) DOUBLE BATHROOM SINK TBD                                  |
| 18 | (N) BUILT-IN CLOSET SHELVING TBD                              |
| 19 | (N) SHOWER HEAD TBD   |
| 40 | (N) KITCHEN CABINET AND COUNTERTOP ADDITION TO MATCH EXISTING |
| 41 | (N) BUILT IN CASEWORK   |

**NOTES**

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10. VENTILATION FANS TO PROVIDE A MINIMUM OF 50 CFMS.



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Drawing Title:  
**PROPOSED FIRST FLOOR PLAN**

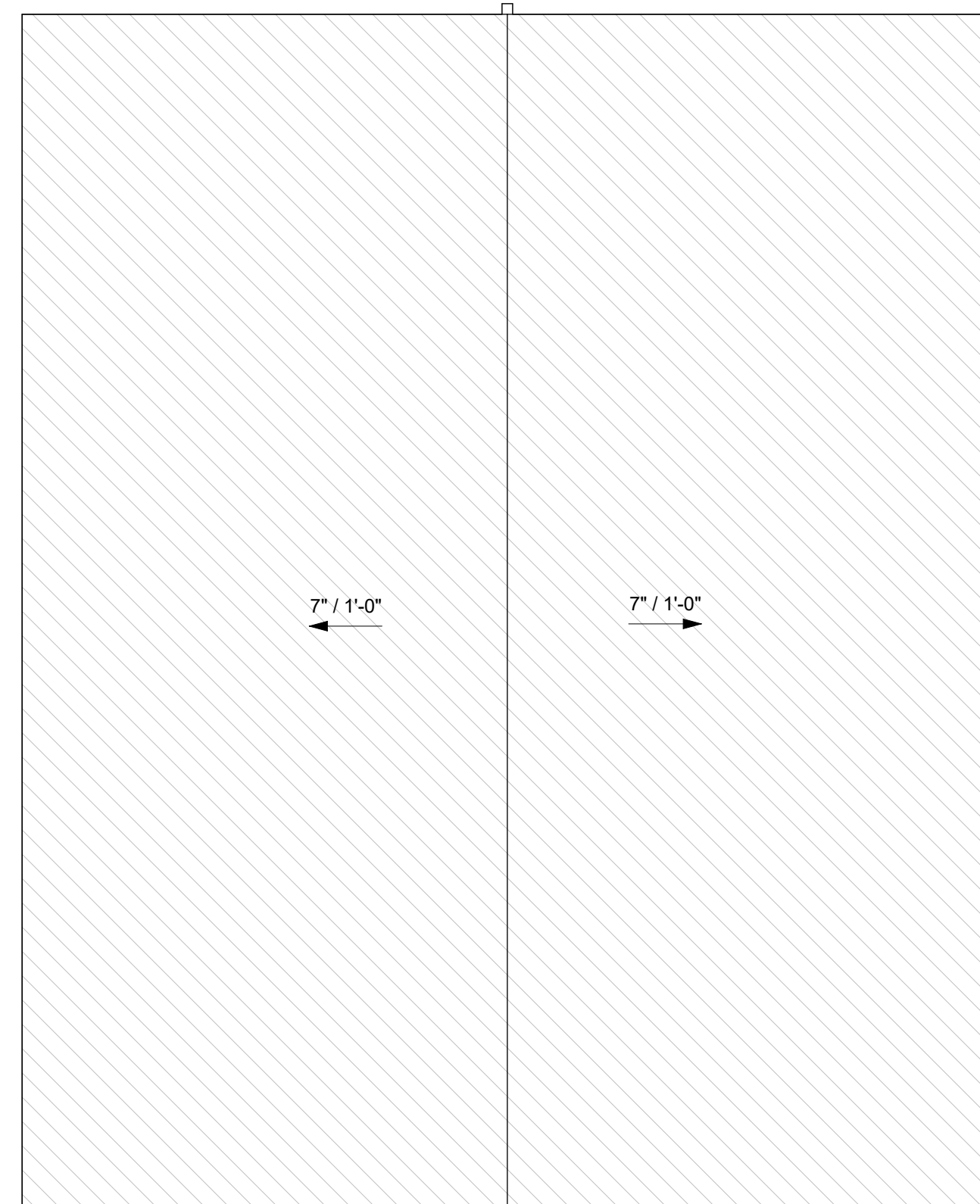
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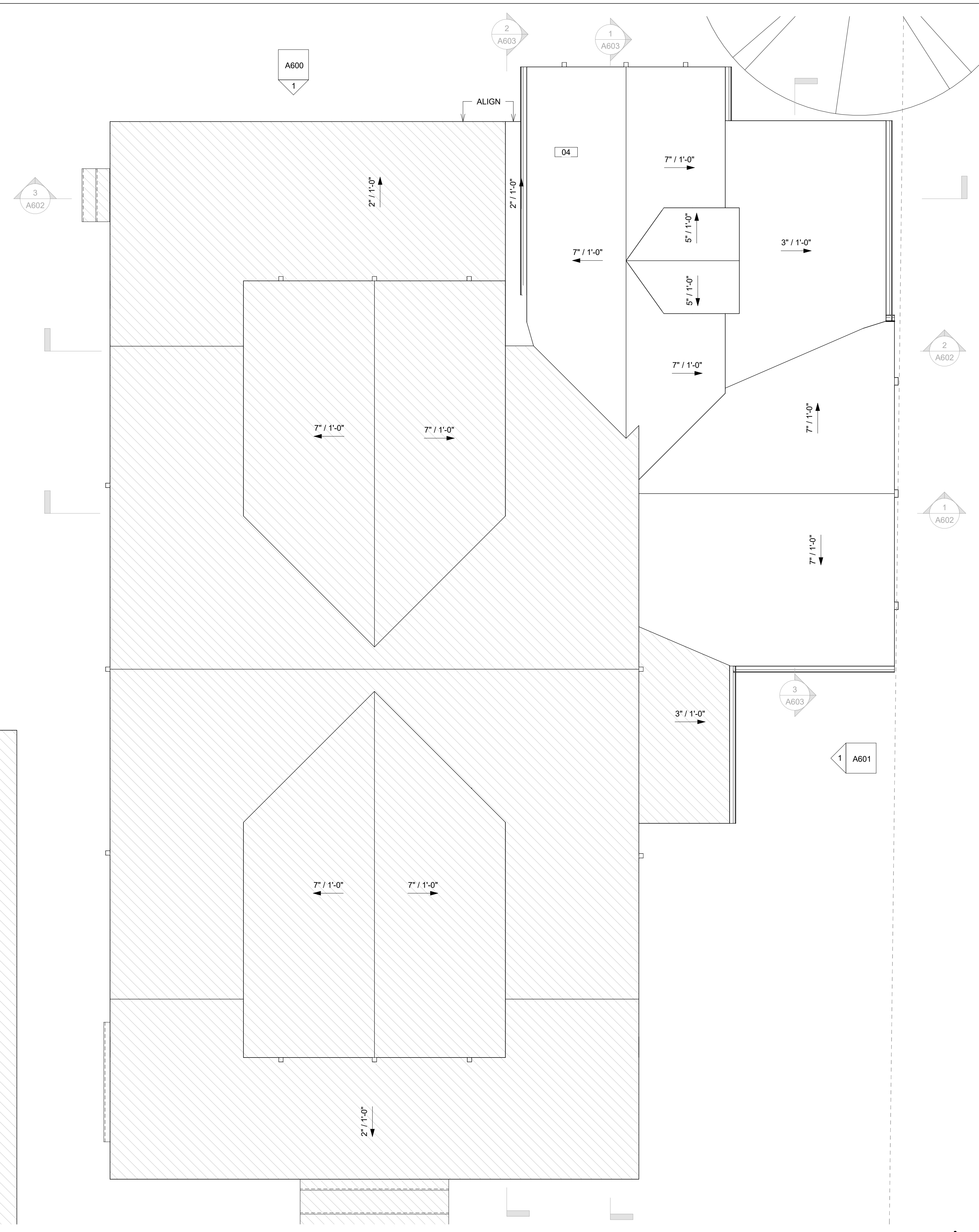
**A400**

1 PROPOSED FIRST FLOOR PLAN  
 1/4" = 1'-0"

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**1 ROOF PLAN**  
 1/4" = 1'-0"



### LEGEND

|  |              |
|--|--------------|
|  | NEW ROOF     |
|  | NOT IN SCOPE |

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### KEYNOTES

|    |  |
|----|--|
| 04 | (N) ROOF TO MATCH EXISTING AND CONNECT TO (E) ROOF |
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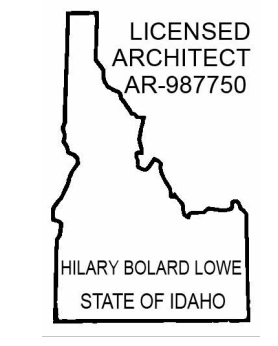
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### NOTES

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4. ALL ROOFING TO BE 'CLASS A'.
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6. ENVIRONMENTAL AIR DUCTS AND EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3' FROM A PROPERTY LINE AND 3' FROM OPENINGS INTO THE BUILDING
7. THE DESIGNED ROOF SNOW LOAD SHALL BE NO LESS THAN ONE HUNDRED FIFTY (150) POUNDS PER SQUARE FOOT; OR WITH AN ENGINEER'S STAMP AND CALCULATION, THE DESIGN ROOF OR SNOW LOAD SHALL BE NO LESS THAN ONE HUNDRED TWENTY (120) POUNDS PER SQUARE FOOT, AS DETERMINED BY SECTIONS 1607 AND 1608 OF THE INTERNATIONAL BUILDING CODE.
8. SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET UNDERLAYMENT SHALL BE INSTALLED AS AN UNDERLAYMENT ON THE ENTIRE ROOF UNLESS PROHIBITED BY THE ROOFING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
9. PROVIDE R-20 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION @ (N) WALLS, R-30 INSULATION @ (N) CRAWLSPACE & (N) FLOORS, R-19 CAVITY INSULATION @ BASEMENT WALLS, & R-49 INSULATION @ (N) ROOFS PER IECC.
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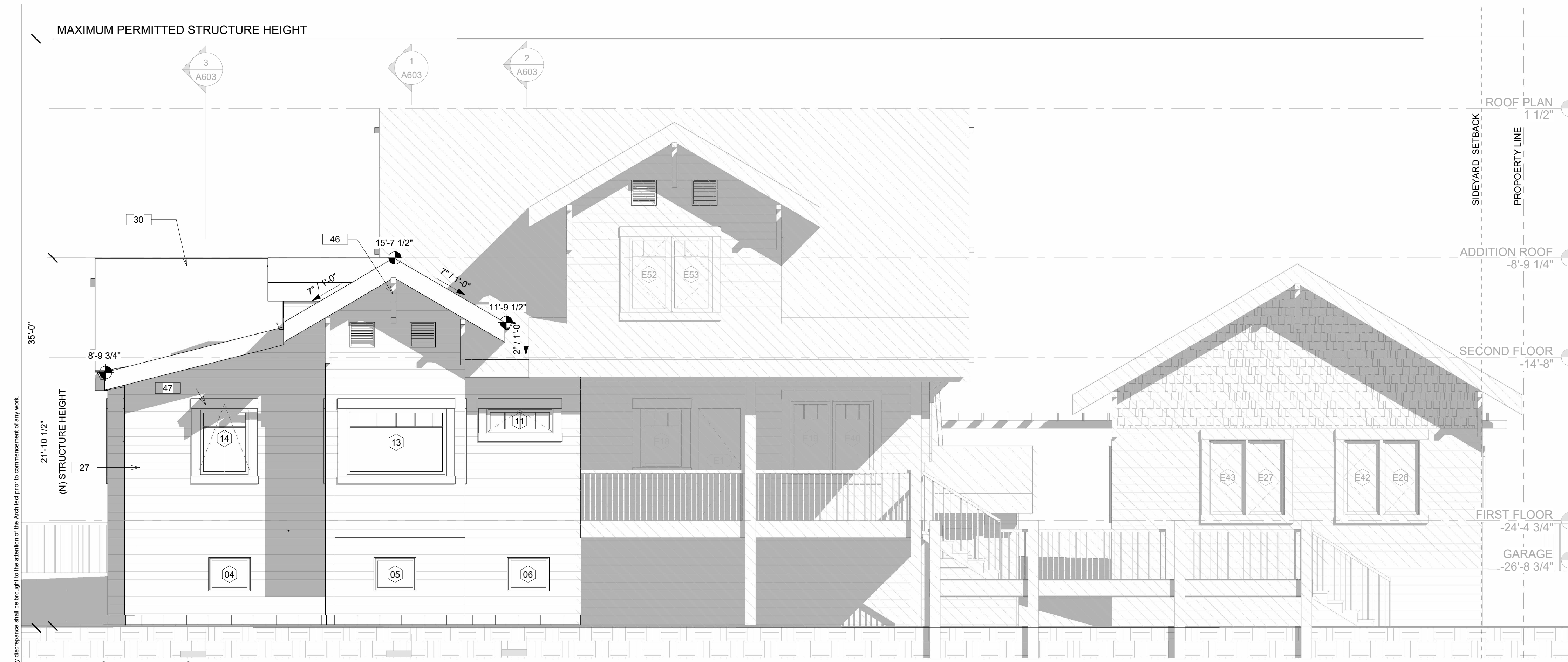
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Drawing Title:  
**ROOF PLAN**

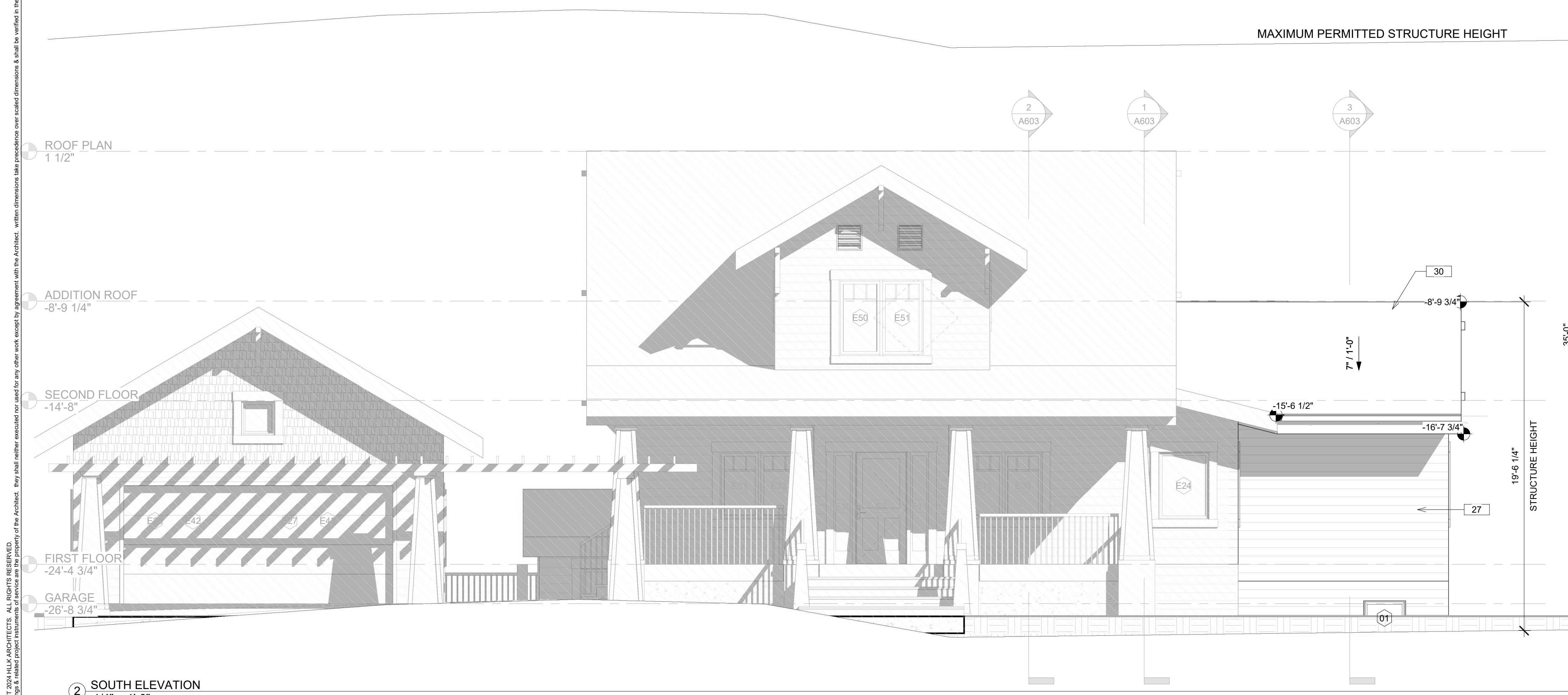
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Sheet Number:  
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1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

LEGEND

NOT IN SCOPE

KEYNOTES

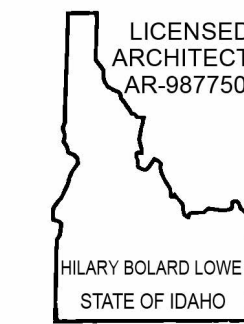
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| 27 | (N) HORIZONTAL SIDING 1X4 CLAPBOARD, PAINTED BY SHERWIN WILLIAMS "COOL DECEMBER CHARCOAL" TO MATCH EXISTING |
| 30 | (N) PRESIDENTIAL COMPOSITION SHINGLES COLOR BLACK TO MATCH EXISTING   |
| 46 | (N) KNEE BRACE DOUGLAS FIR, PAINTED WHITE   |
| 47 | (N) WOOD TRIM PAINTED WHITE   |

NOTES

1. THE CONTRACTOR SHALL VERIFY AND ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION; INCLUDING BUT NOT LIMITED TO INVESTIGATION OF EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
2. PROVIDE R-20 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION @ (N) WALLS, R-30 INSULATION @ (N) CRAWLSPACE & (N) FLOORS, R-19 CAVITY INSULATION @ BASEMENT WALLS, & R-49 INSULATION @ (N) ROOFS PER IECC.



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Drawing Title:  
**ELEVATIONS**

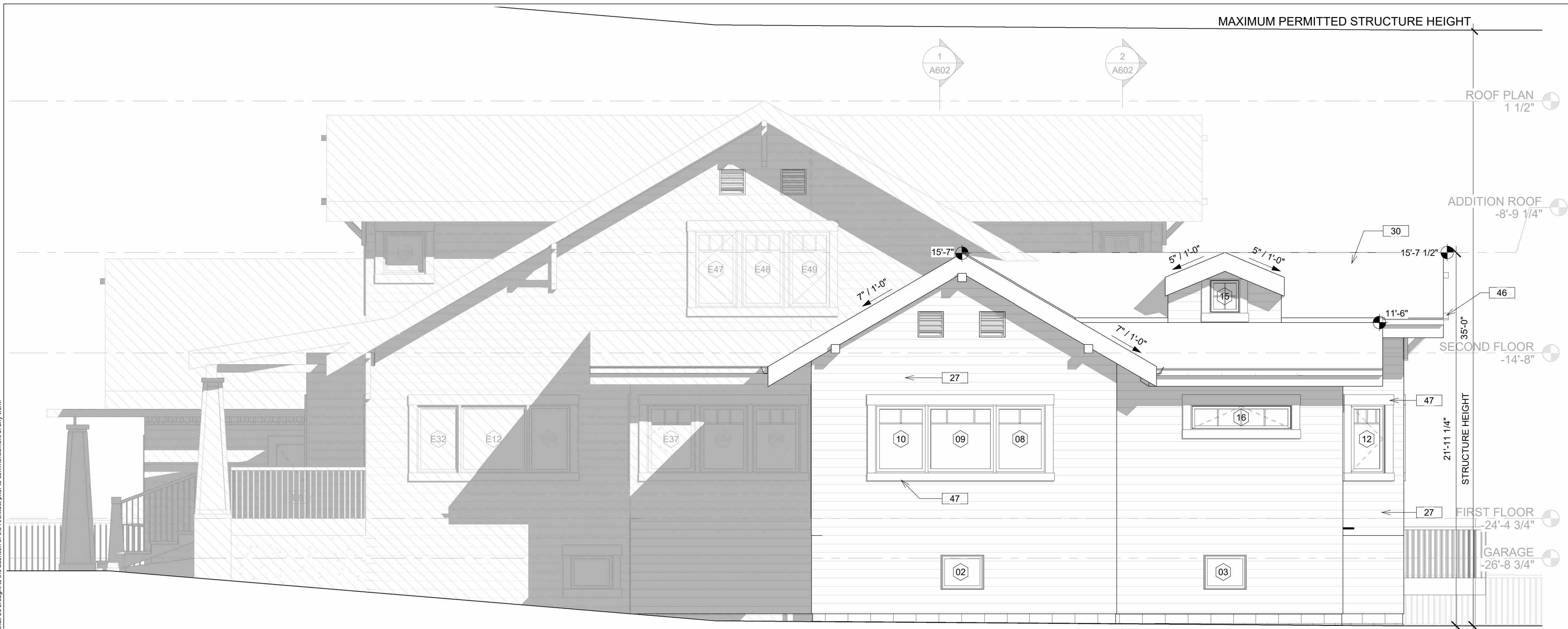
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Sheet Number:  
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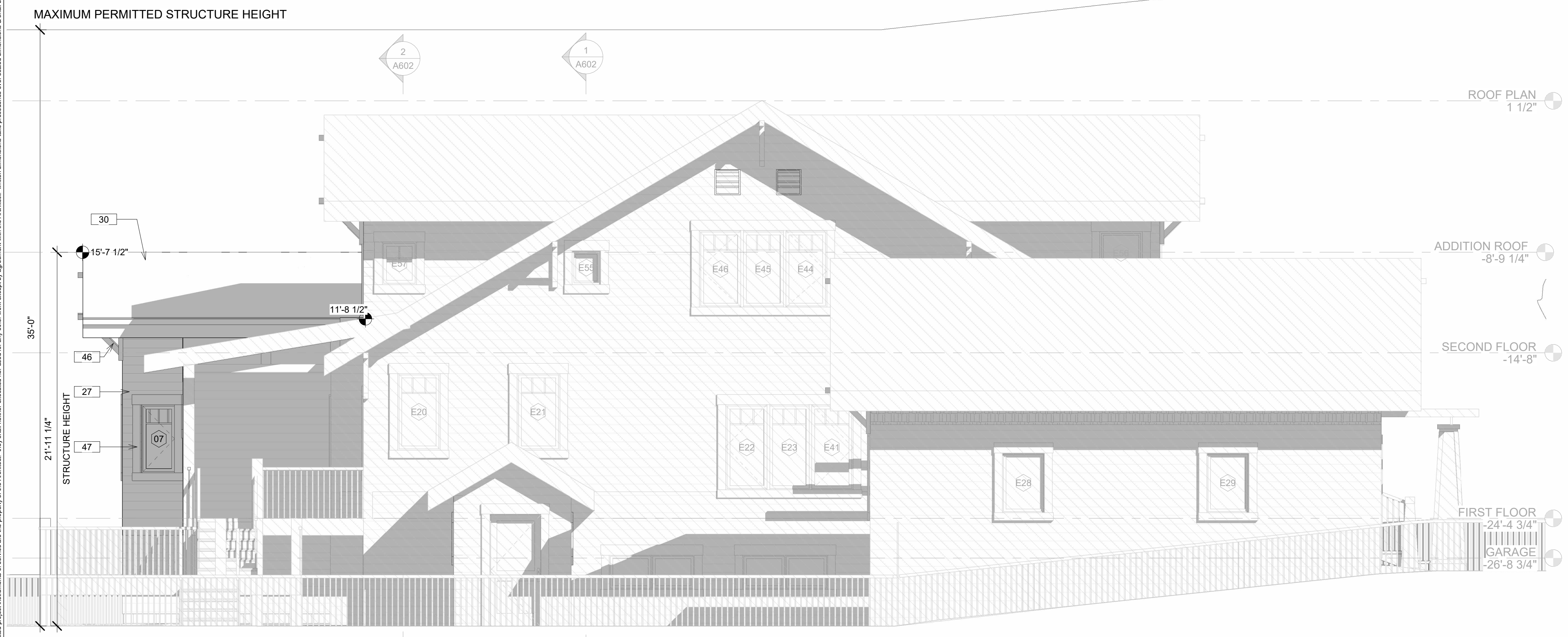
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**1 EAST ELEVATION**  
 1/4" = 1'-0"



**2 WEST ELEVATION**  
 1/4" = 1'-0"

**LEGEND**

NOT IN SCOPE

**KEYNOTES**

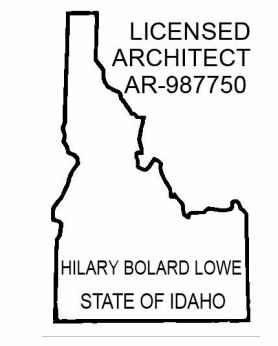
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| 46 | (N) KNEE BRACE DOUGLAS FIR, PAINTED WHITE   |
| 47 | (N) WOOD TRIM PAINTED WHITE   |

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Drawing Title:  
**ELEVATIONS**

Scale:  
 1/4" = 1'-0"

Sheet Number:  
**A601**