

GENERAL NOTES

THIS SET OF DRAWINGS IS THE SHELL PACKAGE COVERING FOUNDATION, FRAMING, AND EXTERIOR FINISHES. ALL INTERIOR FINISHES, MILLWORK, CASEWORK, EXPOSED MECHANICAL AND ELECTRICAL WORK, ETC. WILL BE INCLUDED IN THE FINISH PACKAGE TO FOLLOW. ALL FINISH ITEMS IN THIS PACKAGE ARE FOR INFORMATION ONLY AND MAY CHANGE.

ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, U.O.N. ALL EXTERIOR WALLS TO BE 5 1/2" WIDE, U.O.N. ALL INTERIOR WALLS ARE 3 1/2" WIDE, U.O.N.

GANG TOGETHER VENT STACKS AS MUCH AS POSSIBLE TO MINIMIZE ROOF PENETRATIONS.

PROVIDE ELECTRICAL HEAT TAPE FOR ALL GUTTERS, DOWNSPOUTS AND OTHER PIPES AS REQUIRED.

SEE ELEVATIONS FOR TOP OF WINDOW HEIGHTS. TOP OF WINDOW DOES NOT INCLUDE ROUGH OPENING.

DOOR SCHEDULES ON THIS SHELL PACKAGE SET INDICATE SIZE AND TYPE FOR FRAMING INFORMATION ONLY. REFER TO THE FINISH PACKAGE FOR FURTHER INFORMATION ON WOOD SPECIES, FINISHES, AND SPECIAL REQUIREMENTS.

COORDINATE ALL INTERIOR NON-STRUCTURAL DROPPED CEILING WITH THE FINISH PACKAGE.

COORDINATE ALL MECHANICAL AND ELECTRICAL EQUIPMENT AND ACCESS PANELS WITH ARCHITECT PRIOR TO INSTALLATION.

CONTRACTOR TO COORDINATE ALL DESIGN/BUILD MECHANICAL AND ELECTRICAL EQUIPMENT, DEVICES AND WORK. SUBMIT DRAWINGS FOR REVIEW BY ARCHITECT AND PEER CONSULTANT. REFER TO PROJECT MANUAL DIVISION 15 AND 16.

RESIDENTIAL GENERAL NOTES, IF APPLICABLE

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES

DRAINAGE WATER SHALL BE DIRECTED TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FT. I.R.C. R401.3

EXCAVATIONS, FILL, CUTS, AND GRADING SHALL COMPLY WITH I.R.C. CHAPTER 4

FOUNDATION NOTES

FOOTINGS SHALL BE A MINIMUM OF 36 INCHES BELOW FINISH GRADE. I.R.C. R403.1.4

TOP OF FOUNDATION WALLS SHALL BE A MINIMUM 6 INCHES ABOVE ADJACENT FINISH GRADE. I.R.C. R404.1.6

UNDERFLOOR VENTILATION: MINIMUM 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDERFLOOR AREA, OR 1:1,500 IF 6 MIL VISQUEEN IS PROVIDED ON THE GROUND. VENTS TO BE ARRANGED TO PROVIDE CROSS-VENTILATION ON AT LEAST TWO OPPOSING SIDES. I.R.C. R408

ARCHITECTURAL NOTES

TEMPERED GLASS SHALL BE PROVIDED IN FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT. OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. I.R.C. R308

PROVIDE NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD ON THE CEILING. I.R.C. R309.2

PROVIDE 24 INCH ON-CENTER BLOCKING FOR VERTICAL SIDING. I.R.C. TABLE R703.4 FOOTNOTE K (R703.5.17)

ELECTRICAL NOTES

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

ALL RECEPTACLES SERVING KITCHEN, IN GARAGES, BATHS, UNFINISHED BASEMENTS AND OUTSIDE RECEPTACLES SHALL BE GFCI PROTECTED. I.R.C. E3802 (E3902)

LIGHTS IN CLOSETS MUST COMPLY WITH THE CLEARANCE DIMENSIONS OR I.R.C. E3903.11

ELECTRICAL PANELS MUST COMPLY WITH I.R.C. E3305 (E3405) FOR 30"x36" WORKING SPACE AND 6'-6" HEADROOM.

PROVIDE SMOKE DETECTORS CONFORMING TO I.R.C. SECTION R317 (R314). ALL LEVELS, ALL BEDROOMS, ACCESS TO ALL BEDROOMS AND IN ALL ROOMS WITH SLOPED CEILING NEXT TO HALLS SERVING BEDROOMS. ALL DETECTORS SHALL BE HARD-WIRED, INTERCONNECTED, AND HAVE BATTERY BACKUP. I.R.C. R317 (IRC 314)

PROVIDE AT LEAST TWO OUTSIDE GRADE LEVEL RECEPTACLES-ONE IN THE FRONT YARD AND ONE IN THE REAR YARD. I.R.C. E3801.7 (E3901.7)

CARBON MONOXIDE DETECTORS SHALL BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH A FUEL BURNING APPLIANCE. I.R.C. E313.2 (E313) AS AMENDED BY STATE.

ALL EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED TO ELIMINATE ANY DIRECT LIGHT AND VISUAL IMPACT.

EXTERIOR LIGHTING TO COMPLY WITH COUNTY ORDINANCES FOR EXTERIOR LIGHTING.

ROOF TOP EQUIPMENT INCLUDING SATELLITE DISHES, ANTENNAS, AND OTHER ELECTRICAL EQUIPMENT MUST BE CONCEALED FROM PEDESTRIAN AND OVERLOOKING DEVELOPMENT VIEWS.

ALL OUTDOOR EQUIPMENT FOR SPA SHALL BE SCREENED FROM VIEW WITH DESIGNED ELEMENTS OR LANDSCAPING.

PLUMBING NOTES (see also MEP notes)

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

PROVIDE LOCATION OF GAS AND ELECTRICAL METERS IN AN AREA THAT IS PROTECTED FROM SNOW AND ICE DAMAGE. I.A.C. 15-2-3-4

PROVIDE TANK TYPE WATER CLOSETS WITH A FLOW RATE OF NOT MORE THAN 1.6 GALLONS PER FLUSH. I.R.C. R2903.2

PROVIDE SHOWERHEADS WITH A FLOW RATE OF NOT MORE THAN 2.5 GPM. I.R.C. P2903.2

PROVIDE NON-FREEZE TYPE BACKFLOW PREVENTER HOSE BIBS. I.R.C. P2903.2

ALL PLUMBING VENTS THROUGH THE ROOF TO BE MINIMUM 3" PIPE, 10' FROM EAVES AND BLEND WITH ROOFING COLOR(S). I.R.C. P3103.2 (I.R.C. 3103)

PROVIDE A FLOOR DRAIN BY THE WATER HEATER. PROVIDE A METAL PAN UNDER THE WATER HEATER OR STEAM SHOWER EQUIPMENT IF LOCATED ON A WOOD FLOOR. I.R.C. P2801

IN SEISMIC DESIGN CATEGORIES C1, D1, AND D2, WATER HEATER SHALL BE ANCHORED OR STRAPPED IN THE UPPER THIRD OF THE APPLIANCE TO RESIST A HORIZONTAL FORCE EQUAL TO ONE THIRD OF THE OPERATING WEIGHT.

IF BUILDING WATER SUPPLY LINE HS PRV VALUE INSTALLED WITHOUT THERMAL BY-PASS, PLUMBING CONTRACTOR SHALL INSTALL DIAPHRAGM EXPANSION TANK EQUAL TO THERM-X-CONTROL MODEL S1-25V.

MECHANICAL NOTES

ALL WORK TO COMPLY WITH THE 2018 I.R.C. EDITION AND LOCAL CODES.

PROVIDE A COMFORT HEATING SYSTEM CAPABLE OF MAINTAINING 68 F AT A POINT 36 INCHES ABOVE THE FLOOR IN ALL ROOMS. GENERALLY EQUIPMENT CANNOT BE INSTALLED IN SLEEPING ROOMS OR BATHROOMS. I.R.C. G2406

PROVIDE COMBUSTION AIR FOR ALL FUEL BURNING APPLIANCES AT A MINIMUM RATE OF 1 SQ. INCH PER 3000 BTU/HOUR INPUT. THE ONE OPENING MUST BE IN THE TOP 12 INCHES OF THE ROOM. PROVIDE MINIMUM 1 INCH CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE. PROVIDE MINIMUM 6 INCH CLEARANCE IN FRONT OF THE APPLIANCE. I.R.C. 304-6.2

FUEL BURNING APPLIANCES, INCLUDING FIREPLACES, ARE NOT PERMITTED TO BE INSTALLED IN SLEEPING ROOMS, BATHROOMS, OR TOILET ROOMS UNLESS THE APPLIANCES ARE DIRECT VENT APPLIANCES. SEE I.R.C. SECTION G2406 AND I.A.C. 303.3 FOR MORE INFORMATION AND THE LIST OF EXCEPTIONS.

FUEL-FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A BEDROOM OR BATHROOM SHALL BE INSTALLED IN A SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE. I.R.C. M2005.2

APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE FLOOR IN GARAGES, ROOMS OR SPACES THAT ARE NOT PART OF THE LIVING SPACE OR A DWELLING UNIT AND THAT COMMUNICATE WITH A PRIVATE GARAGE THROUGH OPENINGS SHALL BE CONSIDERED TO BE PART OF THE GARAGE. I.R.C. M1307.3

ENERGY CODE:

BUILDING ENVELOPE MUST COMPLY WITH CURRENT ENERGY CODE.

LIGHTING AND MECHANICAL SYSTEMS MUST COMPLY WITH CURRENT ENERGY CODE.

50% OF LAMPS IN PERMANENT FIXTURES MUST BE HIGH EFFICACY LAMPS.

UNVENTED CRAWLSPACE CONTINUOUS VAPOR RETARDER SHALL BE INSTALLED OVER EXPOSED EARTH WITH JOINTS OVERLAPPED BY 4" AND SEALED, EXTENDING AT LEAST 4" UP AND ATTACHED TO WALL.

SUPPLY DUCTS IN ATTICS ARE INSULATED TO GREATER OR EQUAL TO R8. ALL OTHER DUCTS IN UNCONDITIONED SPACES OR OUTSIDE THE BUILDING ENVELOPE ARE AT LEAST R6. SEAL JOINTS AND SEAMS OF ALL DUCTS.

CIRCULATING SERVICE HOT WATER PIPES ARE INSULATED TO R2.

AUTOMATIC OR GRAVITY DAMPERS ARE INSTALLED ON ALL OUTDOOR AIR INTAKES AND EXHAUSTS.

WOOD BURNING FIREPLACES SHALL HAVE GASKETED DOORS AND OUTDOOR COMBUSTION AIR.

PRESCRIPTIVE ENERGY CODE

CLIMATE ZONE 6- REFER TO IECC 2018, TABLE R402.1.1

FENESTRATION (U-FACTOR): U-0.32

CEILING (R-VALUE): R-49. ALTERNATE: R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. IECC 2018, R402.2.1

CEILING WITHOUT ATTIC SPACE (R-VALUE): R-30, UNLESS SHOWN OTHERWISE. THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION IS LIMITED TO 300 SQ.FT. OR 20% OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. IECC 2018, R402.2.2

WALLS (R-VALUE): R-20 + R-5 (OR R-13 + R-10, WHERE R-13 IS CAVITY INSULATION & R-10 IS CONTINUOUS INSULATION)

SLAB (R-VALUE & DEPTH) R-1 0 @ 4'-0"

THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF SECTION R402.1.1 THROUGH R402.1.4 (NEEDS REVIEW) (IECC 2018)

DACHA2023 RESIDENCE

GUESTHOUSE
1952 WARREN WAGON ROAD
MCCALL, ID 83638



PROJECT TEAM

CLIENT:

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Client Full Address 1
BOISE, IDAHO ZIP

PHONE: 208

CONTACT:
DAVE MCCALL (verify)

ARCHITECT:

EPIKOS LAND PLANNING + ARCHITECTURE
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PHONE: 208-343-2092

CONTACT: JAKE TIMMONS
jake@riverstonesc.com

INTERIOR DESIGN:

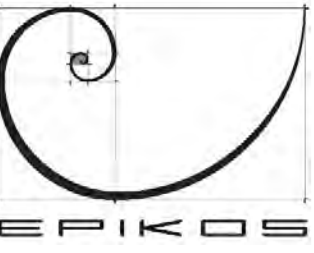
TBD
600 E. Riverpark Lane, Suite 125
Boise, Idaho 83706

PHONE: 208-343-2092

CONTACT: TBD

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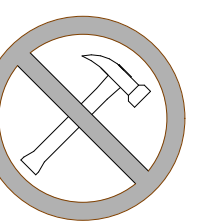
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Revisions:

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Project No: 2311

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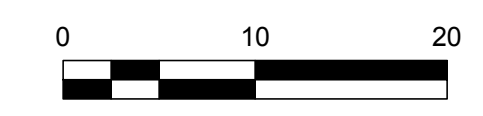
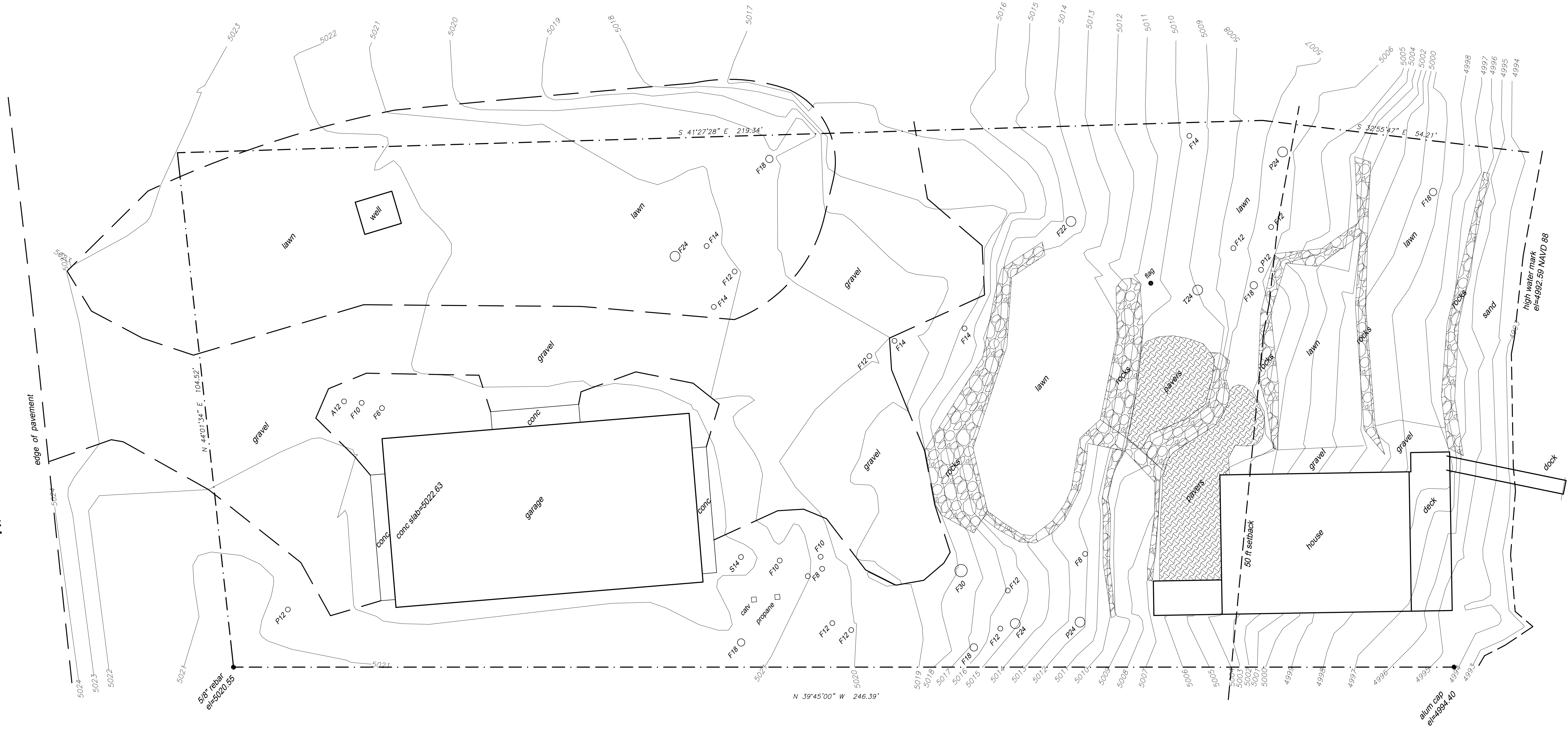
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G-001

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WARREN WAGON ROAD

PAYETTE LAKE

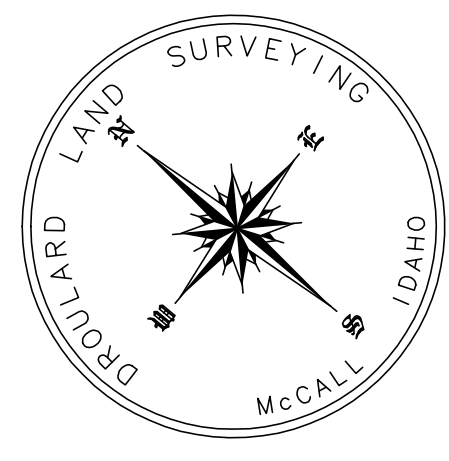


SCALE: 1" = 10'
 CONTOUR INTERVAL = 1 FT
 ELEVATION DATUM NAVD 88

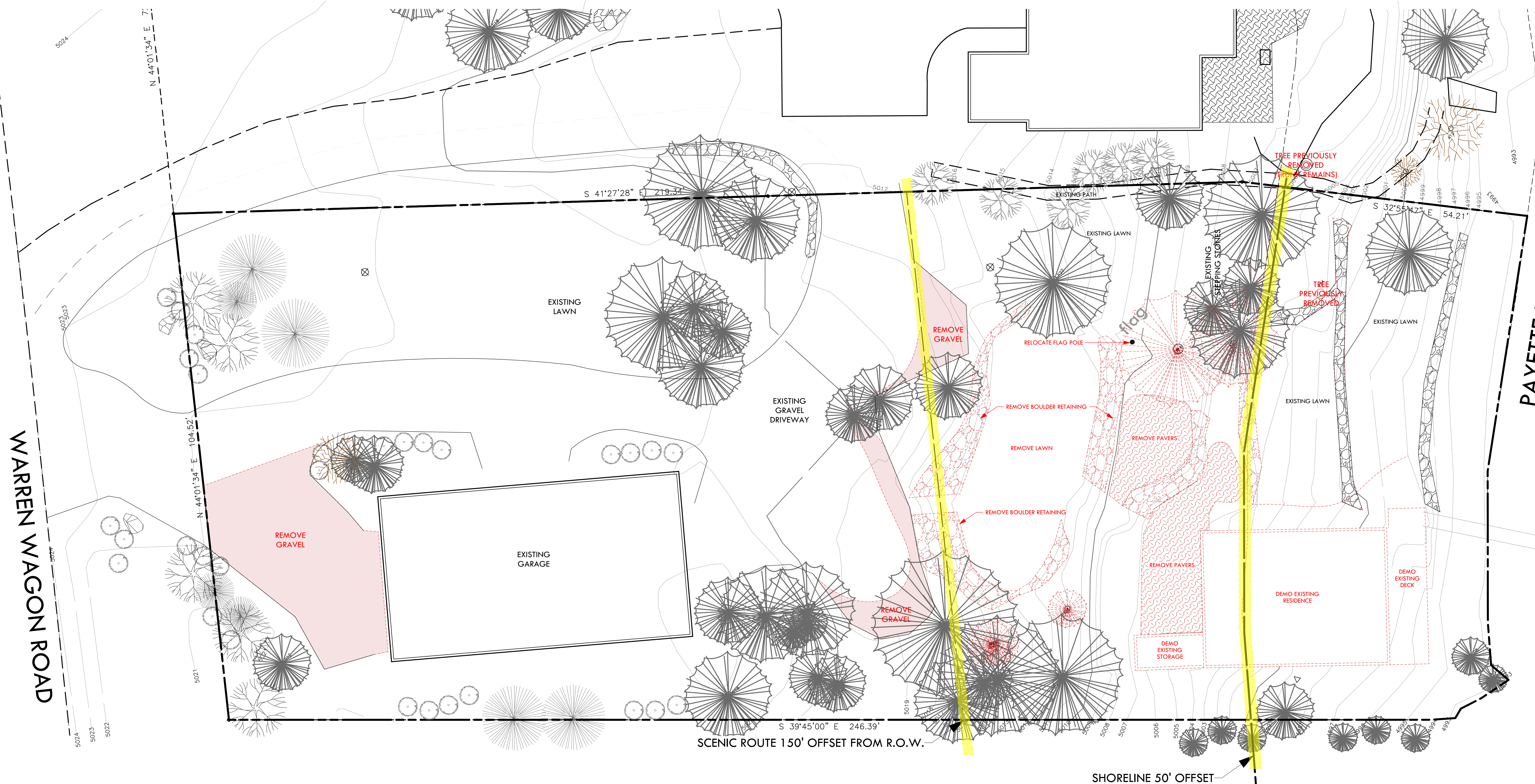
TREES SHOWN WITH DIA. IN INCHES
 PINE, FIR, SPRUCE, TAMARACK, ASPEN

LOT AREA: 0.653 AC, 28,439 SQ FT

**SITE SURVEY OF
 LOT 2 BLOCK 25, SOUTHWEST PAYETTE COTTAGE SITES
 VALLEY COUNTY, IDAHO**



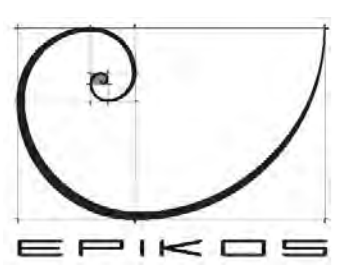
prepared by:
 Droulard Land Surveying
 July 12, 2023



WARREN WAGON ROAD

PAYETTE LAKE

1 DEMO SITE PLAN (1"=10')
SCALE: 1" = 10'



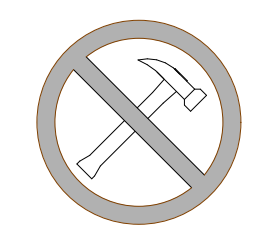
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2 VICINITY MAP
SCALE 1:1,14



CITY OF MCCALL - RESIDENTIAL LOT COVERAGE CALCULATION:
EXISTING CONDITION:

BUILDING, COVERED	3,565 SQ. FT. @ 100% =	3,565
DECK/PATIO/WALK	730 SQ. FT. @ 50% =	365
DRIVEWAY/PARKING	5,662 SQ. FT. @ 35% =	1,981
TOTAL		5,911 SF

- DEMOLISH EXISTING "DACHA" HOME 1,436 @ 100% = -1,436
- DEMOLISH EXISTING DRIVEWAY PORTION 1,492 @ 35% = -522

PROPOSED CONDITION:

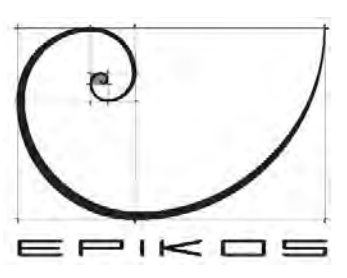
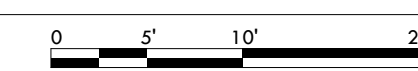
EXISTING GARAGE	2,105 SQ. FT. @ 100% =	2,105
BUILDING, COVERED	2,445 SQ. FT. @ 100% =	2,445
DECK/PATIO/WALK	448 SQ. FT. @ 50% =	224
DRIVEWAY/PARKING	4,126 SQ. FT. @ 35% =	1,444
TOTAL		6,238 SF

LOT COVERAGE CALCULATION: $(-2/1,000,000 + .28) * 100 = 22.459\%$

ALLOWABLE LOT COVERAGE: $27,878 \text{ SF} \times 22.459\% = 6,261.21 \text{ SF}$ (SOURCE: VALLEY CO, ASSESSOR)
 ALLOWABLE LOT COVERAGE: $28,530 \text{ SF} \times 22.459\% = 6,407.53 \text{ SF}$ (SOURCE: SURVEY DATA)



1 SITE LOT COVERAGE
SCALE 1" = 10'



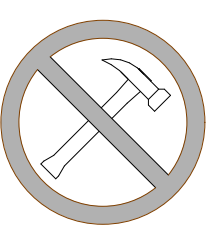
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1 VIEW FROM WARREN WAGON ROAD



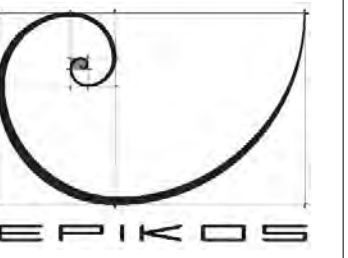
2 VIEW OF EXISTING DRIVEWAY



3 LOCATION OF NEW HOUSE



4 LOCATION OF NEW HOUSE



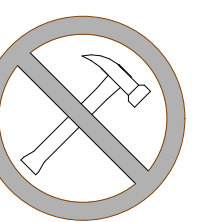
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1 LOCATION OF NEW CONSTRUCTION



2 EXISTING NON-CONFORMING HOME



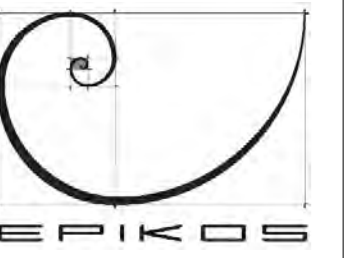
3 EXISTING NON-CONFORMING HOME



4 VIEW OF SITE FROM LAKE



5 EXISTING NON-CONFORMING HOME



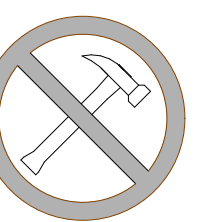
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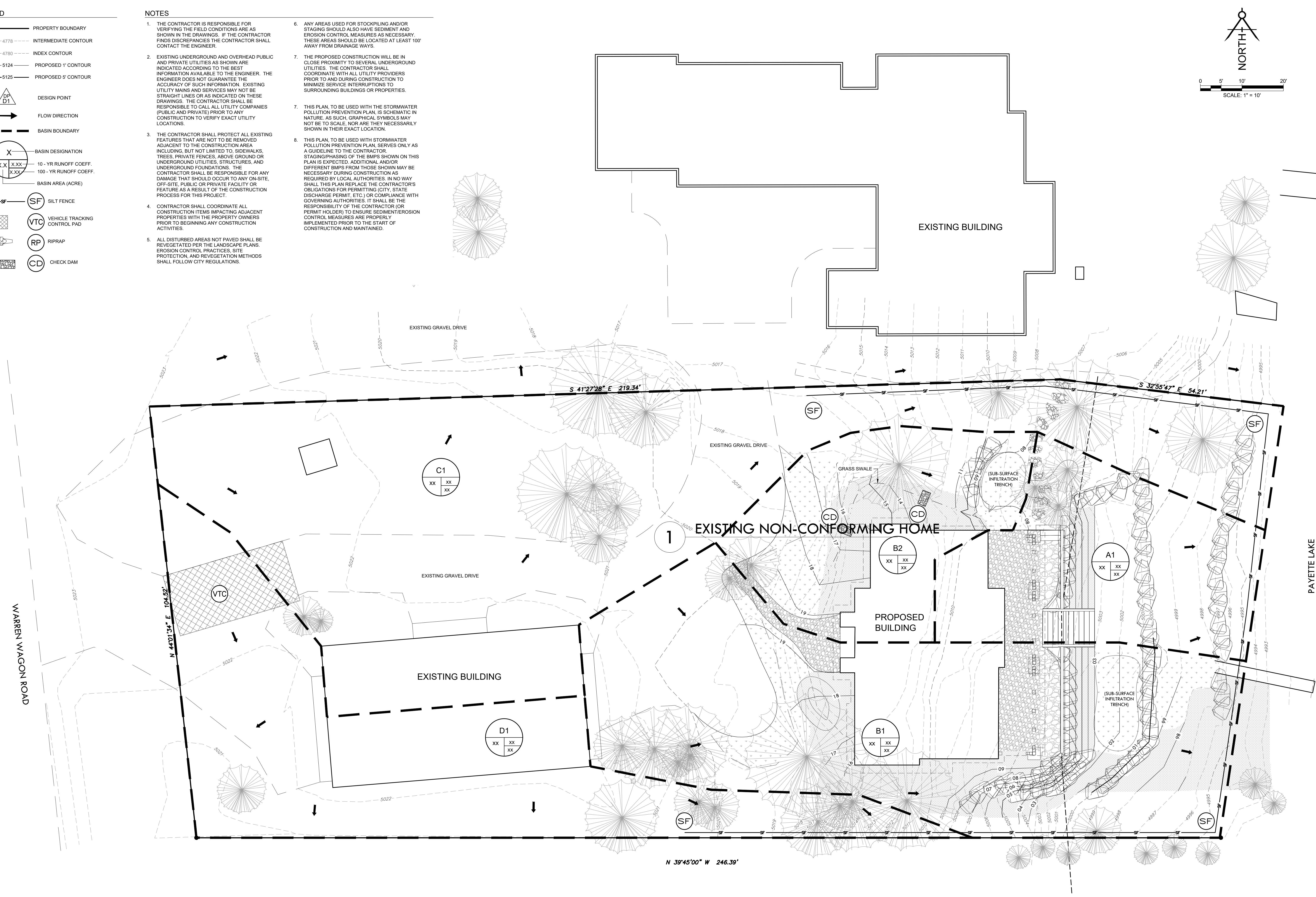
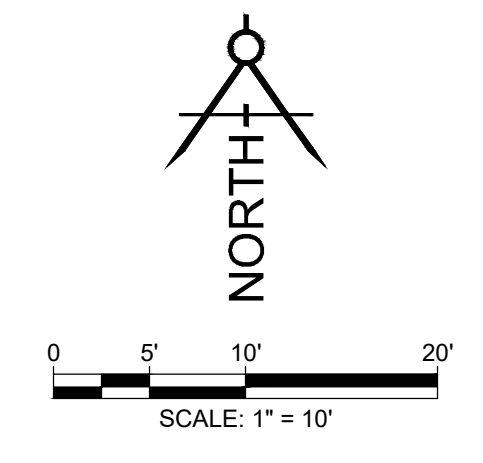
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LEGEND

- PROPERTY BOUNDARY
- - - 4778 - - - INTERMEDIATE CONTOUR
- - - 4780 - - - INDEX CONTOUR
- - - 5124 - - - PROPOSED 1' CONTOUR
- - - 5125 - - - PROPOSED 5' CONTOUR
- DP D1 DESIGN POINT
- FLOW DIRECTION
- - - - - BASIN BOUNDARY
- X BASIN DESIGNATION
- XX X XXX 10 - YR RUNOFF COEFF.
- XX X XXX 100 - YR RUNOFF COEFF.
- BASIN AREA (ACRE)
- SF SILT FENCE
- VTC VEHICLE TRACKING CONTROL PAD
- RP RIPRAP
- CD CHECK DAM

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE FIELD CONDITIONS ARE AS SHOWN IN THE DRAWINGS. IF THE CONTRACTOR FINDS DISCREPANCIES THE CONTRACTOR SHALL CONTACT THE ENGINEER.
2. EXISTING UNDERGROUND AND OVERHEAD PUBLIC AND PRIVATE UTILITIES AS SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. EXISTING UTILITY MAINS AND SERVICES MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL ALL UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO ANY CONSTRUCTION TO VERIFY EXACT UTILITY LOCATIONS.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING FEATURES THAT ARE NOT TO BE REMOVED ADJACENT TO THE CONSTRUCTION AREA INCLUDING, BUT NOT LIMITED TO, SIDEWALKS, TREES, PRIVATE FENCES, ABOVE GROUND OR UNDERGROUND UTILITIES, STRUCTURES, AND UNDERGROUND FOUNDATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT SHOULD OCCUR TO ANY ON-SITE, OFF-SITE, PUBLIC OR PRIVATE FACILITY OR FEATURE AS A RESULT OF THE CONSTRUCTION PROCESS FOR THIS PROJECT.
4. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ITEMS IMPACTING ADJACENT PROPERTIES WITH THE PROPERTY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.
5. ALL DISTURBED AREAS NOT PAVED SHALL BE REVEGETATED PER THE LANDSCAPE PLANS. EROSION CONTROL PRACTICES, SITE PROTECTION, AND REVEGETATION METHODS SHALL FOLLOW CITY REGULATIONS.
6. ANY AREAS USED FOR STOCKPILING AND/OR STAGING SHOULD ALSO HAVE SEDIMENT AND EROSION CONTROL MEASURES AS NECESSARY. THESE AREAS SHOULD BE LOCATED AT LEAST 100' AWAY FROM DRAINAGE WAYS.
7. THE PROPOSED CONSTRUCTION WILL BE IN CLOSE PROXIMITY TO SEVERAL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY PROVIDERS PRIOR TO AND DURING CONSTRUCTION TO MINIMIZE SERVICE INTERRUPTIONS TO SURROUNDING BUILDINGS OR PROPERTIES.
7. THIS PLAN, TO BE USED WITH THE STORMWATER POLLUTION PREVENTION PLAN, IS SCHEMATIC IN NATURE. AS SUCH, GRAPHICAL SYMBOLS MAY NOT BE TO SCALE, NOR ARE THEY NECESSARILY SHOWN IN THEIR EXACT LOCATION.
8. THIS PLAN, TO BE USED WITH STORMWATER POLLUTION PREVENTION PLAN, SERVES ONLY AS A GUIDELINE TO THE CONTRACTOR. STAGING/PHASING OF THE BMPs SHOWN ON THIS PLAN IS EXPECTED. ADDITIONAL AND/OR DIFFERENT BMPs FROM THOSE SHOWN MAY BE NECESSARY DURING CONSTRUCTION AS REQUIRED BY LOCAL AUTHORITIES. IN NO WAY SHALL THIS PLAN REPLACE THE CONTRACTOR'S OBLIGATIONS FOR PERMITTING (CITY, STATE DISCHARGE PERMIT, ETC.) OR COMPLIANCE WITH GOVERNING AUTHORITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR PERMIT HOLDER TO ENSURE SEDIMENT/EROSION CONTROL MEASURES ARE PROPERLY IMPLEMENTED PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED.



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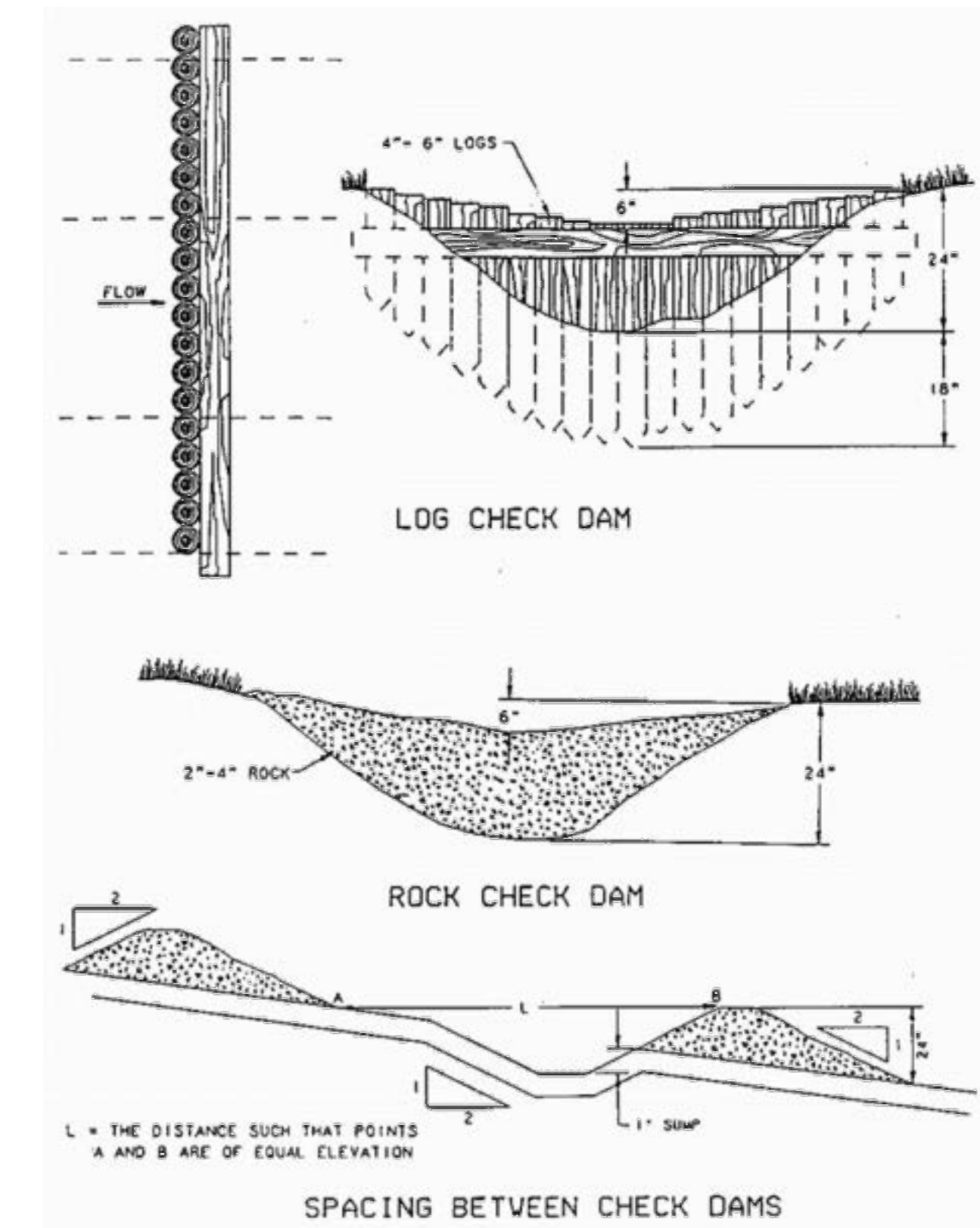
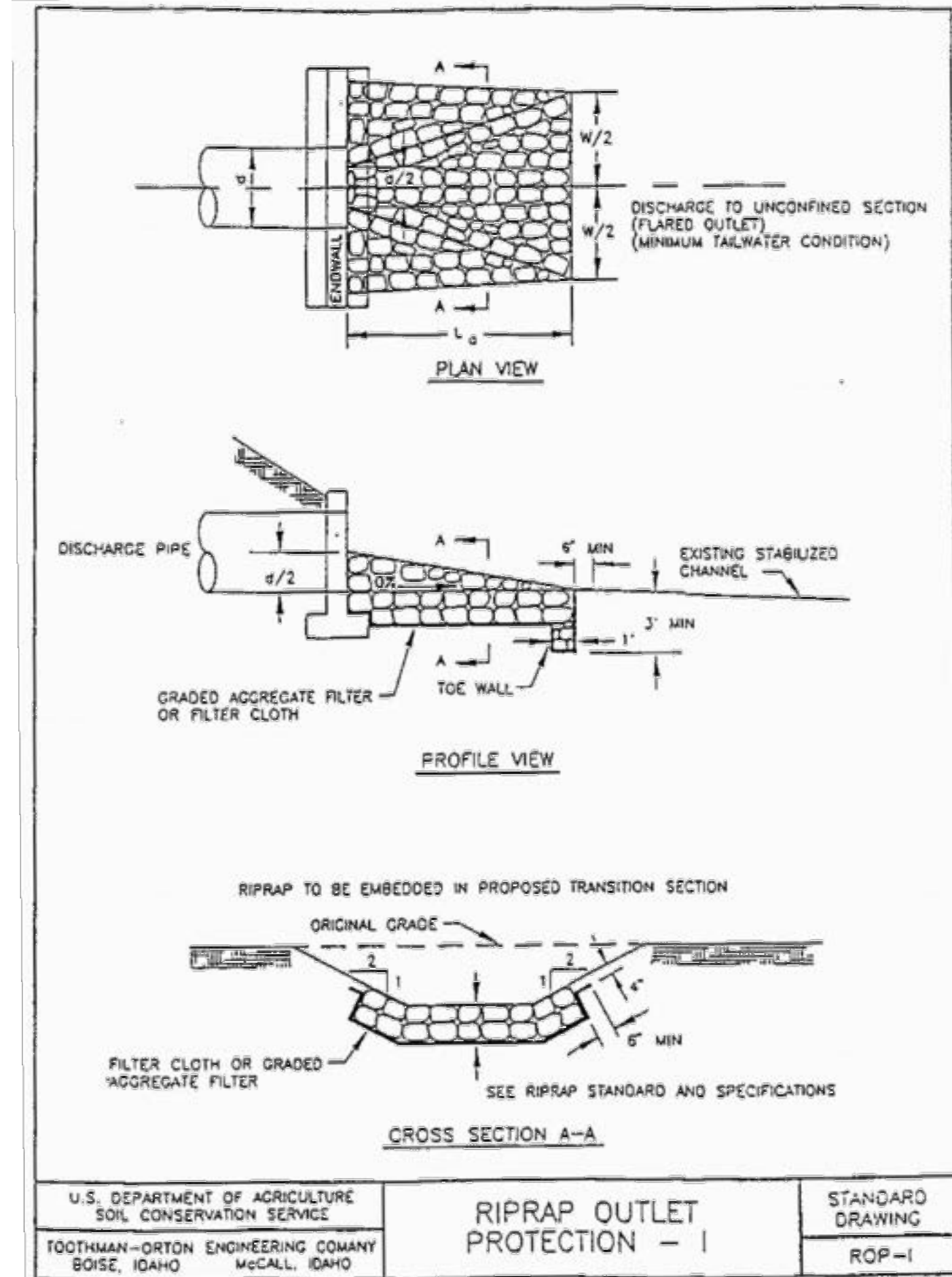
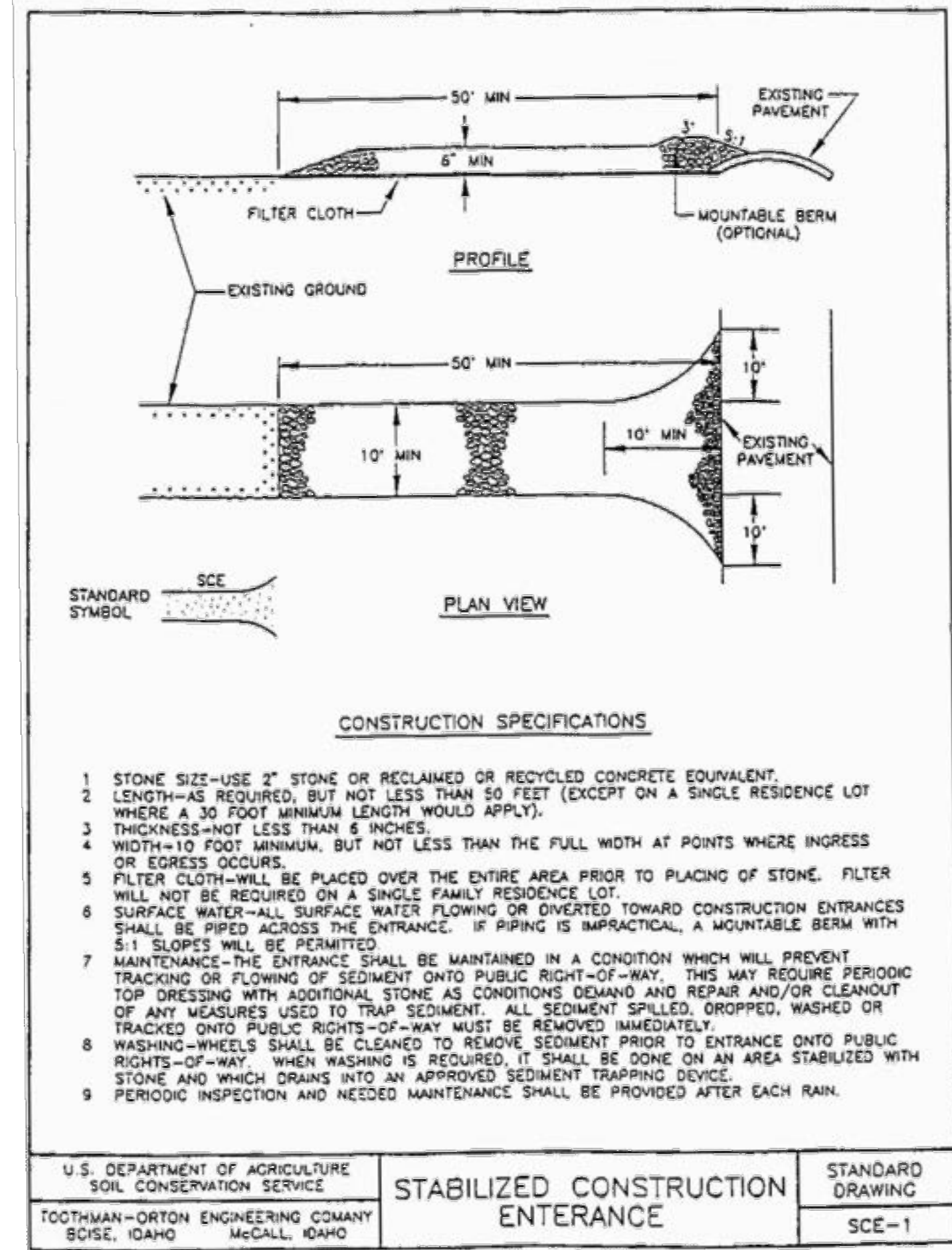
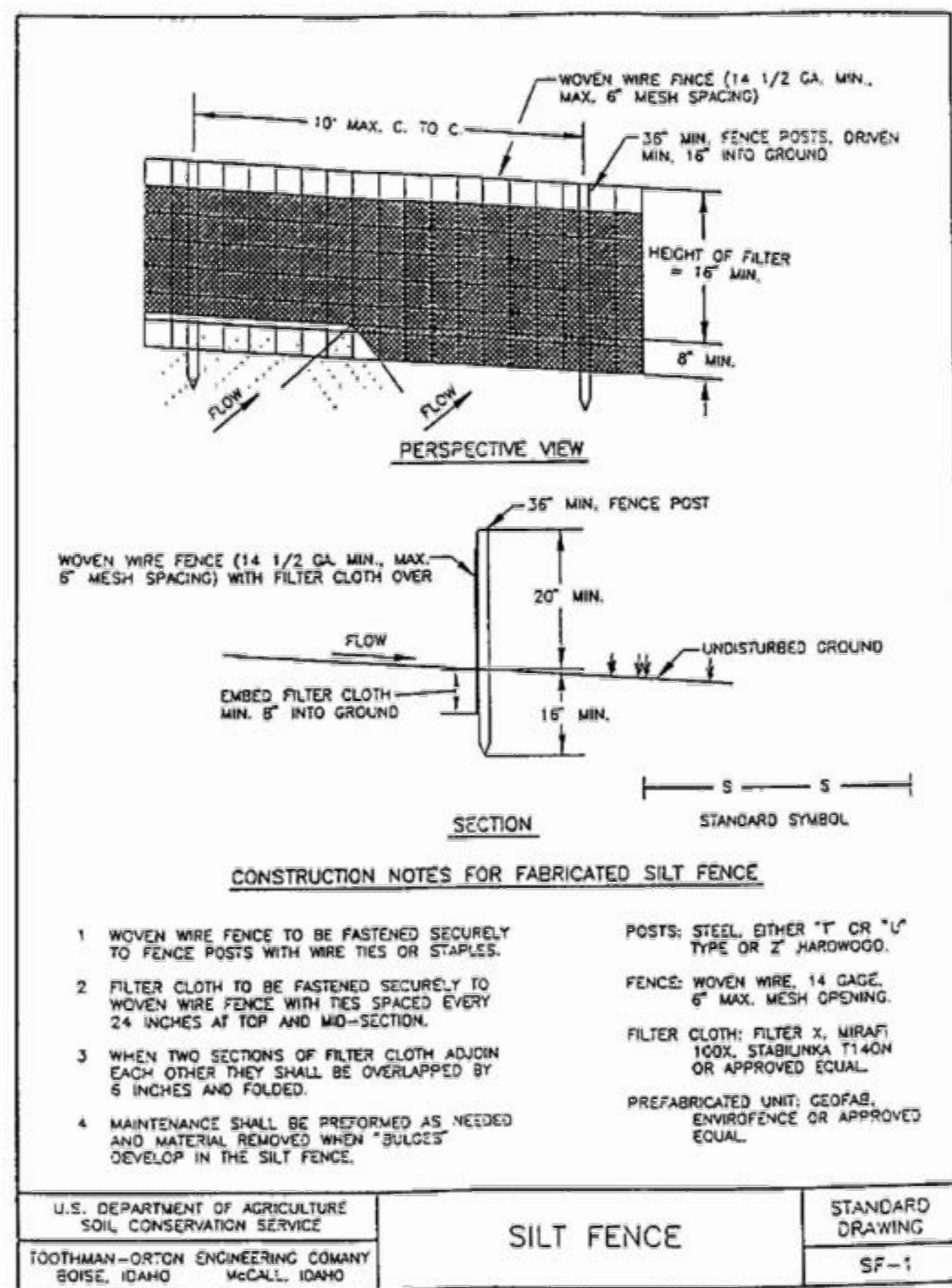
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GUESTHOUSE
1952 WARREN WAGON ROAD
MCCALL, ID 83638

Stamp:
PRELIMINARY DESIGN REVIEW
IN-PROGRESS
DESIGN DEVELOPMENT SET

Revisions:

Date: 2/14/2024
Project No: 2311
Drawn by: NS
Checked by: NS

Sheet:
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CHECK DAM DETAIL
 NOT TO SCALE

1 EXISTING NON-CONFORMING HOME

Stamp:
 PRELIMINARY DESIGN REVIEW
 IN-PROGRESS
 DESIGN DEVELOPMENT SET

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 (PHOT DATE: 2/14/24)

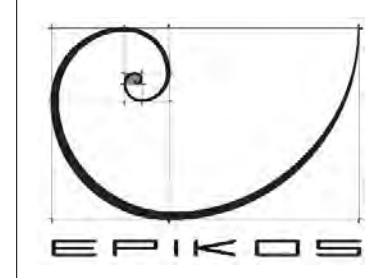
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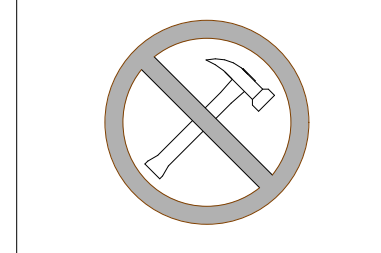
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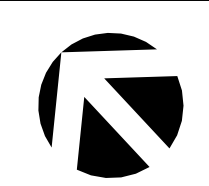
Revisions:

PLANT DATE:	2/20/2024.1
Date:	2/20/2024
Project No:	2311
Drawn by:	LB, BK, MM
Checked by:	--
Sheet:	L-001

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PRELIMINARY



1 LANDSCAPE SITE PLAN
SCALE: 1" = 10'

TOTAL SNOW STORAGE AREA : 3,750 SF



2 STEPPING STONES



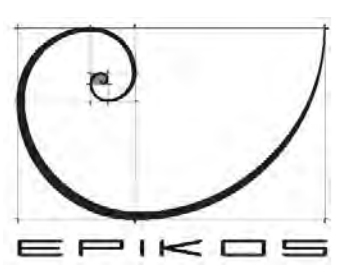
3 TERRACES : FRONTIER FLAGSTONE



4 MECHANICALLY STABILIZED EMBANKMENT



5 NATIVE LOW MOW GRASSES



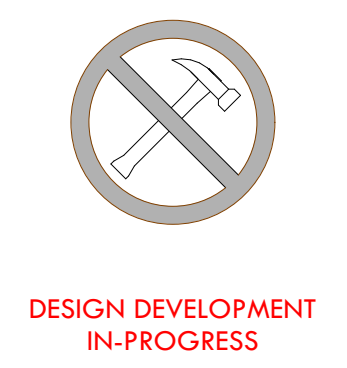
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L-002

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1 **LANDSCAPE SITE PLAN**
SCALE: 3/16" = 1'-0"
THIS IS INTENDED TO BE PRINTED ON A 24"x36" SHEET. ALL OTHER SHEET SIZES WILL NOT BE PRINTED TO SCALE.

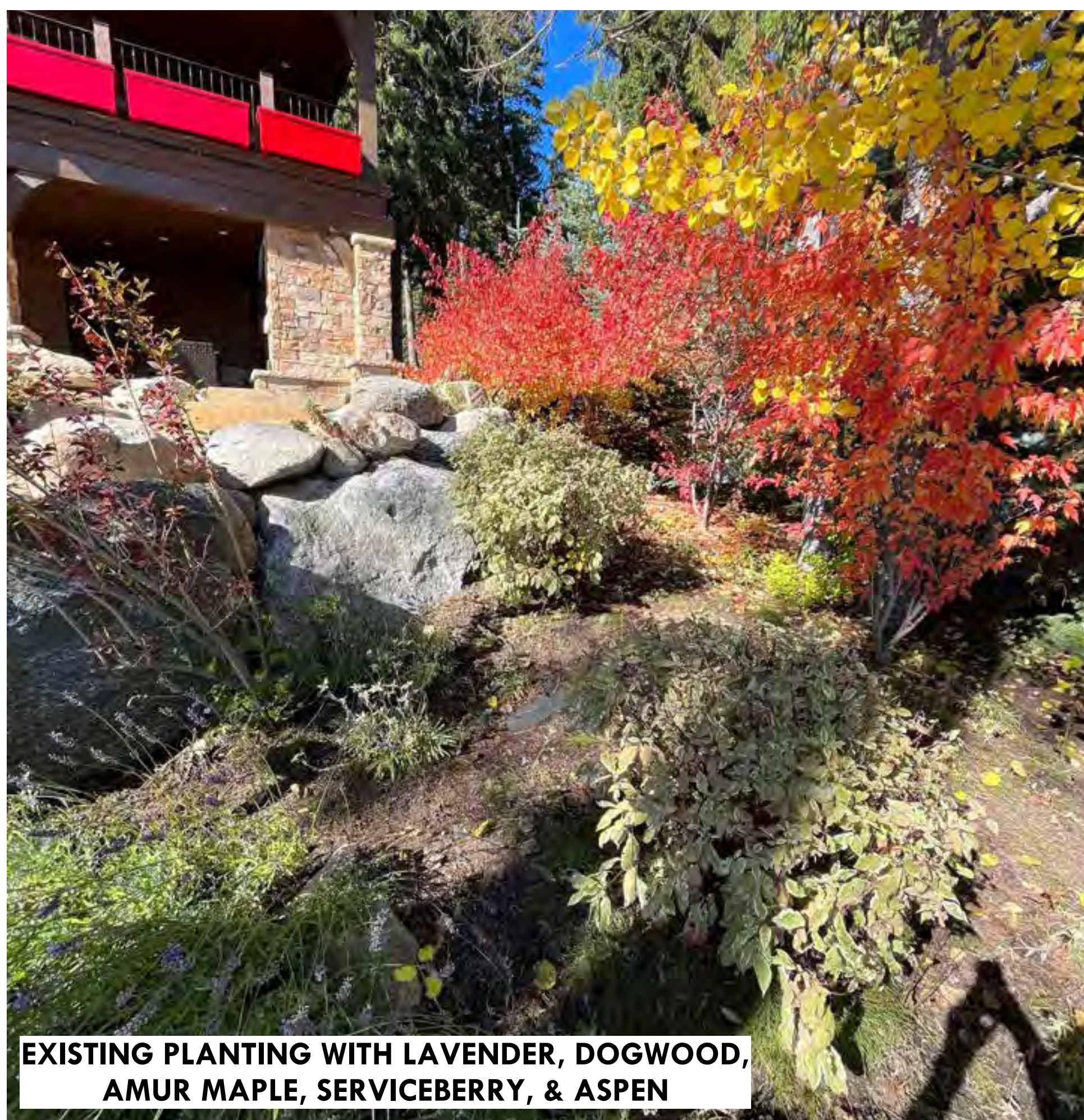
BIMcloud: epikosdesign - BIMcloud Software as a Service/Smith Guest House



EXISTING LANDSCAPE



MIXED PERENNIAL BEDS



EXISTING PLANTING WITH LAVENDER, DOGWOOD, AMUR MAPLE, SERVICEBERRY, & ASPEN



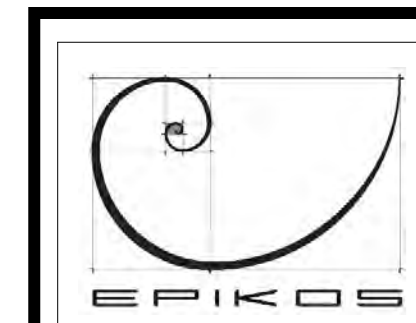
1 PLANTING CONCEPT PLAN
SCALE: 1/8" = 1'-0"



MIXED PERENNIAL BEDS

PLANTING SCHEDULE - TREES & SHRUBS

TREES	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS
	Pinus ponderosa	Ponderosa Pine	SEE PLAN	5-8' tall, well branched
	Populus tremuloides	Quaking Aspen	SEE PLAN	6-10' tall, well branched
SHRUBS	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS
	Amelanchier alnifolia	Autumn Blaze Serviceberry	48" O.C.	1 gallon, bushy
	Acer ginnala	Amur Maple	48" O.C.	1 gallon, bushy
	Cornus sericea	Red Twig Dogwood	48" O.C.	1 gallon, bushy
	Cornus alba 'Ivory Halo'	Variegated Dogwood	36" O.C.	1 gallon, bushy
	Rubus parviflorus	Thimbleberry	36" O.C.	1 gallon, bushy
	Spiraea splendens	Native Spiraea	30" O.C.	1 gallon, bushy



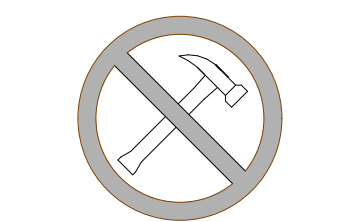
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